

PORT ST. LUCIE CITY COUNCIL
AGENDA ITEM REQUEST

COUNCIL ITEM 13I
DATE 11/14/11

Meeting Date: November 14, 2011

Public Hearing _____ Ordinance _____ Resolution _____ Motion X

Item: #2011042, Threshold & Construction Material Testing for Ravenswood project

Recommended Action:

- 1) Approve Time and Expense contract with Ardaman & Associates, Inc., for an estimated amount of \$160,275.00 for the threshold and construction material testing for the Ravenswood project.

Exhibits: Department memo attached [] yes [X] no

Copies of the Bid tabulation Report, Proposals, Specifications, Committee Scores, Minutes on CD, Copies of original bid documents and contract.

NOTE: Offers from vendors listed herein are the only offers received timely as of the above opening date and time. All other offers submitted in response to this solicitation, if any, are hereby rejected as late.

Summary Explanation/Background Information: The Request for Proposal was advertised March 4, 2011 for the threshold and construction material testing for the Ravenswood project to firms that were awarded contracts under Master contract #20070116. A proposal notification was sent to 17 suppliers and 8 firms requested proposals. The proposal was opened March 14, 2011 at 3:00 P.M. and 5 firms responded. The evaluation committee met March 16, 2011 at 10:00 A.M. and as a consensus short listed and scored as follows: Ardaman, Nodarse, Nutting, Andersen Andre and Dunkelberger. The evaluation committee voted to conduct interviews with the 3 top scored firms. The evaluation committee held question and answers with the 3 topped scored firms on March 18, 2011 at 9:00 A.M. and consensus ranked the firms as follows: #1 Ardaman & Associates, #2 Nutting Engineers of Florida and #3 Nodarse & Associates. The attached contract is the result of the negotiations held March 30, 2011 and revised November 2011.

The need for the above is:

Purchase is not a replacement

Purchase is budgeted.

Department requests expenditure from the following:

Fund	307	Parks MSTU CIP fund
Cost Center	7203	Ravenswood Facility
Object Code	562000	Professional Services
Project	27031	Ravenswood

Director of OMB concurs with award: _____
_____ minutes to make a presentation.

City Manager concurs with award: Department requests

Submitted by:

Representing Committee

Date Submitted 11/8/11

RECEIVED

NOV 09 2011

City Manager's Office

**CITY OF PORT SAINT LUCIE
CONTRACT #20110042**

This is a Time and Expense CONTRACT, executed this _____ day of _____, 2011 by and between the CITY OF PORT ST. LUCIE, FLORIDA, a municipal corporation, duly organized under the laws of the State of Florida, hereinafter called "City" party of the first part, Ardaman & Associates, Inc. , a Florida Corporation, located at 460 NW Concourse Place, Unit 1, Port St. Lucie, Florida 34986, Telephone No.(772) 878 0072; Fax No. (772) 787 0097, hereinafter called "Engineer", party of the second part.

RECITALS

In consideration of the below agreements and covenants set forth herein, the parties agree as follows:

**SECTION I
NOTICES & DESCRIPTION OF SERVICES TO BE PROVIDED**

The scope of work that the Engineer has agreed to perform pursuant to E-Bid #20110042 for the Threshold and Construction Testing for the Ravenswood project All Terms and Conditions of the Master Contract #20070116 will apply.

Notices

All notices or other communications hereunder shall be in writing and shall be deemed duly given if delivered in person, sent by certified mail with return receipt request, email or fax and addressed as follows unless written notice of a change of address is given pursuant to the provisions of this Contract.

Engineer: Ardaman & Associates, Inc.
 Att: Dan Zrallack, P.E.
 460 NW Concourse Place, Unit 1
 Port St. Lucie, Florida 34986
 Telephone No.(772) 878 0072 Fax No. (772) 787 0097
 Email: dzrallack@ardaman.com

City Contract Administrator: Office of Management & Budget
 Att: Cheryl Shanaberger, Deputy Director OMB
 City of Port St. Lucie
 121 SW Port St. Lucie, Blvd.
 Port St. Lucie, FL. 34984
 Telephone 772 871 7390 Fax 772 871 7337
 Email: cheryls@cityofpsl.com

City Project Manager:

City of Port St. Lucie
121 SW Port St. Lucie Blvd.
Port St. Lucie, FL., 34985
Telephone
Email

Description of Services

The Ravenswood Community Center is located on Ravenswood Lane about one block south of Prima Vista Boulevard. The project includes a proposed Community Center/Gymnasium that will be a one-story slab-on-grade structure with a building footprint of approximately 25,849 square feet (S.F.) and a proposed IRSC building that will be a one-story' slab-on-grade structure with a building footprint of approximately 11,304 square feet (S.F.).

The project will also involve site work that includes site clearing and site grading to prepare the proposed building and pavement areas, installation of underground utilities and drainage system, and concrete pavement construction.

The construction materials testing services shall include field and laboratory testing of soils, concrete, and masonry components. The threshold inspection services shall be provided in accordance with the approved Threshold Inspection Plan and Florida State Statues.

Construction Materials Testing

An engineering technician shall perform earthwork observations during the site grading operation. This will include observations and proof-rolling of the "stripped" grade soils prior to fill placement within the proposed building and pavement areas.

In-place density testing of the structural fill placed within the proposed building and pavement areas.

In-place density testing during backfilling of the underground rigid and flexible utility pipelines. The density tests will be performed at a frequency of one test location for each 200 lineal feet (or fraction thereof) of pipe. At each location, density tests will be performed for each 1-foot lift of backfill placed starting at an elevation corresponding to the invert of the pipe and extending up to the final grade.

In-place density testing during backfilling of the underground drainage and sanitary sewer structures for each 1-foot lift of backfill placed from the bottom of the structure up to an elevation corresponding to final grade.

Laboratory moisture-density relationship or Proctor tests (AASHTO T-180 and T-99) will be conducted on the soils used as structural.

In-place density testing of the pavement components including stabilized sub-grade and base course, as well sidewalk and/or concrete paving sub-grade prior to placing concrete or pavers.

Limerock Bearing Ratio (LBR) tests will be performed on the stabilized sub-grade and base course material.

In-place density testing during building construction at the footing sub-grade and concrete slab sub-grade prior to placing concrete.

Continuous concrete testing during the building construction per specifications (footings and slabs). This includes continuous field sampling and slump testing of each load of concrete delivered to the site. Also, molding, transporting, and curing of concrete test cylinders, as well as laboratory testing to determine compressive strength of the concrete used for the construction.

Testing of the structural masonry components during construction of the CMU walls. This includes continuous field sampling and slump testing of each load of coarse masonry grout delivered to the site. Also, molding, transporting, and curing of grout prisms, as well as laboratory testing to determine compressive strength of the coarse masonry grout, as well as the mortar used for the structural masonry wall construction.

Construction materials testing services will be provided on an as-needed basis as dictated by the pace and methods of construction.

Provide Engineering oversight during the construction to coordinate the aforementioned test program, engineering review and submittal of brief engineering reports documenting our findings, test results and specification compliance.

Scope of Work Threshold Inspection Service per F.S.553.79

Responsible for following and executing the approved threshold inspection plan in the field and will issue the necessary documentation to the City of Port St. Lucie Project Manager and Building Department attesting to that. The Threshold Inspector may not be in the field on a daily basis but will review, in the office, all field reports, test results and related correspondence. The Threshold Inspector will be available to make periodic site visits to spot check critical components of the construction and offer consultations as required by the City of Port St. Lucie. A detailed scope of work shall be submitted with proposal.

The Threshold Inspector shall be represented in the field on a will call basis by an onsite resident inspector. This individual will meet all legal requirements for this work and have substantial experience in cast-in-place concrete, unit masonry and structural steel and light steel framed construction.

The inspector will make the required field inspections, coordinate these with other members of the construction team and document the results in daily written reports. A weekly report shall be signed & sealed by the Threshold Inspector and submitted to the City of Port St. Lucie Project Manager each Monday of the following week.

FBC Section 11927.12.1 and BCAC 109./0.2.1

FBC Section 2122.4 and BCAC 109.]0.2.2

FBC Section 2223.11.1 and BCAC 109.10.2.4

A. STANDARD THRESHOLD INSPECTION PROCEDURES

1. FOUNDATION

- 1.1 Excavation/subsurface preparation.
- 1.2 Observation of soil compaction methods.
- 1.3 Placement, size, and grade of reinforcing steel and dowels spread footings, wall footings and all foundation elements.
- 1.4 Soil treatment
- 1.5 Verify that all MEP ground rough has been approved by the appropriate inspecting agency.
- 1.6 Moisture protection
- 1.7 Monitor Placement of Cast Concrete (optional if required by threshold inspection plan)

2. REINFORCED CONCRETE

- 2.1 Reinforcing Steel
 - 2.1.1 Check shipment
 - 2.1.2 Size/grade/bending
 - 2.1.3 Placement
 - 2.1.4 Support and typing
 - 2.1.5 Cover
 - 2.1.6 Length and splices
 - 2.1.7 Clear formwork before pour
 - 2.1.8 Integrity of form work, and shoring
 - 2.1.9 Monitor Placement of Cast Concrete (optional if required by threshold inspection plan)
- 2.2 Embedded Items
 - 2.2.1 Anchor bolts
 - 2.2.2 Inserts, Plates
 - 2.2.3 Sleeves

3. STRUCTURAL STEEL

- 3.1 Observation of condition upon delivery of job site
- 3.2 Examine for compliance with the approved shop drawings and erection plan
- 3.3 Bolting
 - 3.3.1 Size
 - 3.3.2 Number
 - 3.3.3 Torque
- 3.4 Welding
 - 3.4.1 Weld size and length
 - 3.4.2 Weld cleaning and preparation

4. REINFORCED CONCRETE UNIT MASONRY

- 4.1 Observe reinforcement placement
- 4.2 Review test reports
- 4.3 Review embed items
- 4.4 Monitor grouting of Filled cells (optional if required by threshold inspection plan)

5. LIGHT GAUGE METAL ROOF TRUSSES

- 5.1 Observation of condition upon delivery of job site
- 5.2 Examine for compliance with the approved shop drawings and erection plan
- 5.3 Bolting
 - 5.3.1 Size
 - 5.3.2 Number
 - 5.3.3 Torque
- 5.4 Welding
 - 5.4.1 Weld size and length
 - 5.4.2 Weld cleaning and preparation

B. REPORTING

- 1. The Threshold Inspector shall submit written reports to the City of Port St Lucie Project Manager and the Building Department on each Monday of the following week.
 - 1.1 The Threshold Inspector shall keep an exception file.
 - 1.2 A final letter of compliance shall be issued to the City of Port St. Lucie Project Manager and the Building Department within seven (7) calendar days upon completion of all work.

**SECTION II
TIME OF PERFORMANCE**

Contract period shall commence _____, 2011, and terminate _____, 2012, _____ 365 calendar days. In the event all work required in the proposal specifications has not been completed by the specified date, the Engineer agrees to provide work as authorized by the Contract Supervisor until all work specified in the proposal specifications has been rendered.

**SECTION III
COMPENSATION**

This is a Time and Expense Contract. The total amount to be paid by the City to the Engineer is based on actual time spent on this project with an estimated amount of \$160,275.00. All Lump Sum Amounts are Not to Exceed amounts. The City will not pay for out-of-pocket expenses (Office & Utilities), sub-consultant fees or any reimbursable expense.

Compaction/In-Place Density Testing:

Storm Water Pipe Backfill; 200 tests @ \$20.00/test	\$4,000.00
Sanitary Sewer Backfill; 80 tests @ \$20.00/test.....	\$1,600.00
Water Main Backfill; 20 tests @ \$20.00/test.....	\$400.00
Building Pad (Fill, Slab and Footing Subgrade); 240 tests @ \$20.00/test	\$4,800.00
Parking Lot (Fill, Stabilized Subgrade and Base Material); 150 tests @ \$20.00/test.....	\$3,000.00
Sidewalk, Curb and Miscellaneous Areas; 60 tests @ \$20.00/test.....	\$1,200.00

Lab Testing:

Modified Proctor Tests; 6 tests @ \$85.00/test.....	\$510.00
Limerock Bearing Ratio (LBR) Tests: 6 tests @ \$275.00/test	\$1,650.00

Concrete Testing:

Concrete Cylinders; Estimate 160 sets of 5 concrete cylinders @ \$85.00/set.....	\$13,600.00
Grout Prisms (CMU Cell Fill); Estimate 25 sets of 4 grout prisms @ \$85.00/set.....	\$2,125.00
Masonry Mortar; Estimate 5 sets of 6 mortar cubes @ \$85.00/set.....	\$425.00
Extra Slump Tests; Estimate 200 tests @ \$20.00/test	\$4,000.00

Visual Weld Inspections for Structural Steel:

Senior Engineering Technician/Inspector: 60 hours @ \$55.00/hour.....	\$3,300.00
Senior Weld Inspector: 40 hours @ \$75.00/hour	\$3,000.00

Anticipated Hourly Charges (as needed for sampling, standby, report prep. and review, etc.):

Field Technician: 200 hours @ \$45.00 hour	\$9,000.00
Senior Field Technician: 87 hours @ \$50.00 hour	\$4,350.00
Senior Project Engineer: 20 hours @ \$110.00/hour	\$2,200.00
Clerical/Secretary: 20 hours @ \$42.00 hour.....	\$840.00

Subtotal - Construction Materials Testing:.....\$60,000.00

Testing services during utility installations will be provided on a full-time basis to facilitate construction and to provide improved quality control of the contractor's production and methodology.

Allowances for re-tests (from failing tests) are not included herein.

Inspection services will be charged at hourly rates, and only for time spent on behalf of the project and on the job. Time will not be paid for travel to and from the job. The Threshold Inspections are required for the City building only and not the classroom building or the breezeway. The project construction duration requiring threshold inspections is estimated to be approximately 20 weeks (5 months) to substantial completion.

Threshold Inspector (On-Site Agent) (anticipate an average of 40 hours/week):

Senior Project Engineer; 15 weeks @ 40 hours/week @ \$110.00/hour	\$66,000.00
Project Engineer; 5 weeks @ 30 hours/week @ \$95.00/hour	\$14,250.00

Special Inspector (anticipate an average of 25 hours/month):

5 months @ 25 hours/month @ \$135.00/hour.....	\$16,875.00
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Technical Secretary (anticipate an average of 15 hours/month):

5 months @ 15 hours/month @ \$42.00/hour.....	\$3,150.00
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Subtotal - Threshold Inspections.....\$100,275.00

The unit rates for the Threshold services are as follows:

Special Inspector/Threshold Inspector:..... \$135.00/hour
Senior Project Engineer/Threshold Inspector Agent: .. \$110.00/hour
Project Engineer/Threshold Inspector Agent:..... \$95.00/hour
Technical Secretary:..... \$42.00/hour

Total is a Not to Exceed amount that will be paid at actual time and expense

Engineer VISA Payment Procedures

1. A ghost account with Bank of America (BOA) will be established for the project. The account dollar limit will be established by the City's estimate of monthly expense. The account will also have limits as per the MCC code. Reasonable total invoice amounts will also be established. The ghost account will be entered with the proper expense codes. The Engineer will be provided this ghost account number to process payments.
2. A purchase order to the Engineer for this project will be issued.
3. The Engineer will send the project manager by the 1st of each month a detail estimated pay request listing employee title, estimated hours of work, hourly rate and related tasks to be completed that will be accomplished by the 25th of the same month.
4. The City's Project manager will approve the estimated pay request by the 6th of the same month. The City's Project manager is signing and agreeing that the task estimates are reasonable and feasible as to being completed by the 25th of the same month.
5. The Project manager (PM) will email the approved pay request estimate to the Contract Specialist, City's P-Card Administrator and the Engineer to proceed with placing the charge on the BOA specified account.
6. The Engineer may not place the charge on the ghost account until the 6th of each month. Under no circumstances will the account be used between the 1st and 5th of the month.
7. The Engineer will send the invoice with all required documents as per the contract to the PM by the 25th of each month. The invoice total must match the previously submitted pay request total for the same work period.
8. The PM will audit to determine that work and materials that are being billed have been completed and installed as per contract specifications. The PM will sign documents that state the payment is correct and payment by the City is authorized. This is the invoice that will authorize the City to pay the bank provider-BOA. The PM will breakout the pay items and assign to purchase order subsections as part of the process.
9. The PM will have the signed invoice and documents to the Contract Specialist and P-Card Administrator no later than the 10th of each month.

10. The PM will mark any pay estimate that should not be paid and provide explanation. All pay estimate approved by the PM that are charged to Visa must equal the invoice. All adjustments must be made on following pay estimate.
11. OMB will balance statement and issue all dispute items.
12. OMB will produce summary sheet and send all documentation to Finance for payment.

Pay Estimate does not Equal Actual Work Completed

The City will allow up to 15% of the estimated work not to be completed by the 25th of the month and still approve the invoice. However, the Engineer on the 6th of the following month must indicate the adjustment amount as a credit on the new pay estimate being submitted. The City cannot pay credits.

Over estimates of 15% for three than (3) consecutive months will be considered abuse. The PM will be responsible for establishing the correct estimated amounts in the following months.

If during the month the PM determines that the estimated pay request amount cannot be reached by more than 15% and it is due to the performance of the Engineer, a credit must be issued on Visa by the Engineer as soon as possible for the entire amount of work and materials that will not be completed. This credit will be issued on the ghost account for the full amount of the original estimate charged no later than the 25th of that month. A transaction for the correct amount that equals the value of the work and material that will be completed will be charged to the account.

Pay request for services shall be submitted by the 5th of the month for that months estimated amount of work. Any work not completed will be adjusted in the next month's payment. Payments shall be made provided the submitted invoice is accompanied by adequate supporting documentation and is approved by PM.

All work compensated for under this Contract, including partial payments, shall become the property of the City of Port St. Lucie without restrictions or limitations. Work under this Contract shall include but not be limited to sketches, tracings, drawings, computations, details, design calculations, plan, electronic files and other related documents. The Engineer shall not be held liable for any reuse of the work and shall not be held liable for any modifications made to the work by others.

All invoices and correspondence relative to this Contract must contain the Purchase Order number, last 4 digits of the BOA ghost account and Contract number.

All work compensated for under this Contract, including partial payments, shall become the property of the City of Port St. Lucie without restrictions or limitations. Work under this Contract shall include but not be limited to sketches, tracings, drawings, computations, details, design calculations, plan, electronic files and other related documents. The Engineer shall not be held liable for any reuse of the work and shall not be held liable for any modifications made to the work by others.

All invoices and correspondence relative to this Contract must contain the Purchase Order number/VISA order # and Contract number.

SECTION IV CONFORMANCE WITH PROPOSAL

It is understood that the materials and/or work required herein are in accordance with the proposal made by the Engineer pursuant to the Request for Proposal and Specifications on file in the Office of Management and Budget of the City. All documents submitted by the Engineer in relation to said proposal, and all documents promulgated by the City for inviting proposals are, by reference, made a part hereof as if set forth herein in full.

SECTION V INDEMNIFICATION/INSURANCE

To the extent permitted under Florida Statutes, the Engineer shall indemnify, defend, and hold harmless the City, its representatives, employees and elected and appointed officials, from and against all claims, cause, demands, legal fees, cost of action, losses, damages or other expenses occasioned by any negligent act, conduct, error or omission by the Engineer, or its agents, employees or sub-consultants, in the performance of this Contract. As consideration for this indemnity provision the Engineer shall be paid the sum of ten dollars (\$10.00), which will be paid at execution of Contract.

The Engineer shall, on a primary basis and at its sole expense, agree to maintain in full force and effect at all times during the life of this Contract, insurance coverage, limits, including endorsements, as described herein.

The Engineer shall agree to maintain Workers' Compensation Insurance & Employers' Liability in accordance with Florida Statutes Chapter 440. Coverage must include Employers' Liability with a minimum limit of \$100,000 each.

The Engineer shall agree to maintain Any Auto, Business Automobile Liability at a limit of liability not less than \$500,000 each occurrence for all owned, non-owned and hired automobiles. In the event the Engineer does not own any automobiles the Business Auto Liability requirement shall be amended allowing Engineer to agree to maintain only Hired & Non-Owned Auto Liability. This amended requirement may be satisfied by way of endorsement to the Commercial General Liability, or separate Business auto Coverage form.

Commercial General Liability for public liability during the lifetime of this Contract shall have minimum limits of \$1,000,000 per occurrence, \$2,000,000 per aggregate, for Personal Injury, Bodily Injury, and Property Damage Liability. Coverage shall include Premises and/or Operations, Independent Contractors, Products and/or Complete Operations, Contractual Liability and Broad Form Property Damage Endorsements. Coverage shall not contain an

exclusion or limitation endorsement for Contractual Liability or Cross Liability. All insurance policies shall be issued from a company or companies duly licensed by the State of Florida. All policies shall be on a per-project occurrence made basis; the City shall not accept claims-made policies. Specific endorsements will be requested depending upon the type and scope of work to be performed.

The Engineer shall agree to maintain Professional Liability, or equivalent Errors & Omissions Liability at a limit of liability not less than \$1,000,000 Per Occurrence. When a self-insured retention (SIR) or deductible exceeds \$10,000 the City reserves the right, but not the obligation, to review and request a copy of Engineer's most recent annual report or audited financial statement. For policies written on a "Claims-Made" basis, the Engineer warrants the retroactive date equals or precedes the effective date of this Contract. In the event the policy is canceled, non-renewed, switched to an Occurrence Form, retroactive date advanced, or any other event triggering the right to purchase a Supplemental Extended Reporting Period (SERP) during the life of this Contract, Engineer shall agree to purchase a SERP with a minimum reporting period not less than three (3) years.

Except as to Workers' Compensation and Employers' Liability, said Certificate(s) and Policies shall clearly state that coverage required by the contract has been endorsed to include the City of Port St. Lucie, a political subdivision of the State of Florida, its officers, agents and employees as Additional Insured with a CG 2026-Designated Person or Organization endorsement, or similar endorsement, to its Commercial General Liability and Automobile Liability Policies. The name for the Additional Insured endorsement issued by the insurer shall read "City of Port St. Lucie, political subdivision of the State of Florida, its officers, employees and agents, and Contract #20110042. The Certificate of Insurance and Policy shall unequivocally provide thirty (30) days written notice to the City prior to any adverse changes, cancellation, or non-renewal of coverage thereunder. Said liability insurance must be acceptable by and approved by the City as to form and types of coverage. In the event that the statutory liability of the City is amended during the term of this Contract to exceed the above limits, the Engineer shall be required, upon thirty (30) days written notice by the City, to provide coverage at least equal to the amended statutory limit of liability of the City.

Engineer shall agree by entering into this Contract to a Waiver of Subrogation for each required policy. When required by the insurer, or should a policy condition not permit an Insured to enter into a pre-loss agreement to waive subrogation without an endorsement then Engineer shall agree to notify the insurer and request the policy be endorsed with a Waiver of Transfer of Rights of Recovery Against Others, or its equivalent. This Waiver of Subrogation requirement shall not apply to any policy where a condition to the policy specifically prohibits such an endorsement, or voids coverage should Engineer enter into such an agreement on a pre-loss basis.

It shall be the responsibility of the Engineer to insure that all sub-consultants comply with the same insurance requirements referenced above.

All deductible amounts shall be paid for and be the responsibility of the Engineer for any and all claims under this Contract.

The Engineer may satisfy the minimum limits required above for Commercial General Liability, Business Auto Liability, and Employers' Liability coverage under Umbrella or Excess Liability. The Umbrella or Excess Liability shall have an Aggregate limit not less than the highest "Each Occurrence" limit for Commercial General Liability, Business Auto Liability, or Employers' Liability. When required by the insurer, or when Umbrella or Excess Liability Policy is written on "Non-Follow Form," the City shall be endorsed as an "Additional Insured."

The City, by and through its Risk Management Department, reserves the right, but not the obligation, to review and reject any insurer providing coverage.

SECTION VI PROHIBITION AGAINST FILING OR MAINTAINING LIENS AND SUITS

Subject to the laws of the State of Florida and of the United States, neither Engineer nor any subconsultant, supplier of materials, laborer or other person shall file or maintain any lien for labor or materials delivered in the performance of this Contract against the City. The right to maintain such lien for any or all of the above parties is hereby expressly waived.

SECTION VII WORK CHANGES

The City reserves the right to order work changes in the nature of additions, deletions or modifications without invalidating the Contract, and agrees to make corresponding adjustments in the Contract price and time for completion. All changes will be authorized by a written change order signed by the Director of OMB or his designee as representing the City. Work shall be changed and the contract price and completion time shall be modified only as set out in the written change order. Any adjustment in the contract price resulting in a credit or a charge to the City shall be determined by mutual agreement of the parties.

SECTION VIII COMPLIANCE WITH LAWS

The Engineer shall give all notices required by and shall otherwise comply with all applicable laws, ordinances and codes and shall, at his own expense, secure and pay the fees and charges for all licensing required for the performance of his work. All materials furnished and work done is to comply with all local, state and federal laws and regulations.

SECTION IX ADDITIONAL REQUIREMENTS

In the event of any conflict between the terms and conditions, appearing on any purchase order or work authorization issued relative to this Contract, and those contained in this Contract and the RFP herein referenced, the terms of this Contract and RFP herein referenced shall apply.

**SECTION X
LICENSING**

Engineer warrants that he possesses all licenses and certificates necessary to perform required work and is not in violation of any laws. Engineer warrants that his license and certificates are current and will be maintained throughout the duration of the contract.

**SECTION XI
SAFETY PRECAUTIONS**

Precaution shall be exercised at all times for the protection of persons, including employees, and property. All plans and construction must be ADA compliant. The safety provisions of all applicable laws and building and construction codes shall be observed. The selected Proposer will submit all proposals in compliance with the 28 C.F.R. § 35.151. Where ADA and Florida Building Codes do not agree the most stringent applies or ADA supersedes.

**SECTION XII
ASSIGNMENT**

Engineer shall not delegate or subcontract any part of the work under this Contract or assign any monies due him hereunder without first obtaining the written consent of the City.

**SECTION XIII
TERMINATION**

If the Engineer refuses or fails to prosecute the work with such diligence as will insure its completion within the time specified in this Contract, or as may be modified in accordance with this Contract, the City by written notice to the Engineer, may terminate Engineer's rights to proceed. On such termination, the City may take over the work and prosecute the same to completion, by contract or otherwise, and the Engineer and his sureties shall be liable, jointly and severally to the City for any additional cost incurred by it in its completion of the work.

The City may terminate this Contract with or without cause by giving the Engineer a thirty (30) days notice in writing. Upon delivery of said notice and upon expiration of the thirty (30) day period, the Engineer shall discontinue all services in connection with the performance of this Contract and shall proceed to cancel promptly all related existing third party contracts. Termination of the Contract by the City pursuant to this paragraph shall terminate all of the City's obligations hereunder. In the event of termination, the Engineer will be paid for all services rendered to the date of termination, all expenses subject to reimbursement hereunder.

**SECTION XIV
LAW AND VENUE**

This Contract is to be construed as though made in and to be performed in the State of Florida and is to be governed by the laws of Florida in all respects without reference to the laws

of any other state or nation. The venue of any action taken pursuant to this Contract shall be in St. Lucie County, Florida.

**SECTION XV
APPROPRIATION APPROVAL**

The Engineer acknowledges that the City of Port Saint Lucie's performance and obligation to pay under this contract is contingent upon an annual appropriation by the City Council. The Engineer agrees that, in the event such appropriation is not forthcoming, this Contract may be terminated by the City and that no charges, penalties or other costs shall be assessed.

**SECTION XVI
RENEWAL OPTION**

Not Applicable

**SECTION XVII
ENTIRE AGREEMENT**

The written terms and provisions of this contract shall supersede all prior verbal statements of any official or other representative of the City. Such statements shall not be effective or be construed as entering into, or forming a part of, or altering in any manner whatsoever, this contract or contract documents.

**SECTION XVIII
TRUTH-IN-NEGOTIATIONS**

In accordance with the provisions of Section 287.055, Florida Statutes, the Engineer agrees to execute a truth-in-negotiations certificate and agrees that the original contract price and any additions may be adjusted to exclude any significant sums by which the contract price was increased due to inaccurate, incomplete or non-current wage rates and other factual unit costs.

**SECTION XIV
CONFLICT OF INTEREST**

The City hereby acknowledges that the Engineer may be performing professional services for private developers within the Treasure Coast area. Should a conflict of interest arise between providing services to the City and/or other clients, the Engineer shall terminate its relationship with the other client to resolve the conflict of interest. The City Manager shall determine whether a conflict of interest exists. At the time of each Project Proposal the Engineers shall disclose all of their Treasure Coast clients and related Scope of Work.

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TRUTH-IN-NEGOTIATION CERTIFICATE AND AFFIDAVIT

STATE OF FLORIDA §
COUNTY OF MARTIN §

Before me, the undersigned authority, personally appeared affiant _____ who being first duly sworn, deposes and says:

1. That the undersigned firm is furnishing this Truth in Negotiation Certificate pursuant to Section 287.055(5)(a) of the Florida Statutes for the undersigned firm to receive an agreement for professional services with the City of Port St. Lucie, St. Lucie County, Florida.

2. That the undersigned firm is a corporation which engages in furnishing professional architect and engineering services and is entering into an agreement with the City of Port St. Lucie, St. Lucie County, Florida to provide professional services for a project known as #20110042, Testing & Construction material testing for Ravenswood project.

3. That the undersigned firm has furnished the City of Port St. Lucie, St. Lucie County, Florida a detailed analysis of the cost of the professional services required for the project.

4. That the wage rate information and other factual unit cost, which the undersigned firm furnished, were accurate, complete and current at the time the undersigned firm and the City of Port St. Lucie entered into the agreement for professional services on the project.

5. That the agreement which the undersigned firm and the City of Port St. Lucie entered into on this job contained a provision that the original agreement price and any additions thereto shall be adjusted to include any significant sums by which the City of Port St. Lucie determines the agreement price was increased due to inaccurate, incomplete or non-current wage rates or other factual unit cost and that all such agreement adjustments shall be made within one (1) year following the end of the agreement.

FURTHER AFFIANT SAYETH NAUGHT

Name of Firm

By: _____
President

The foregoing instrument was acknowledged before me by _____ who is personally known to me.

WITNESS my hand and official seal in the State of County last aforesaid this

(SEAL)

Signature

Notary Name (typed or printed)

Title or Rank

IN WITNESS WHEREOF, the parties have executed this contract at Port St. Lucie, Florida, the day and year first above written.

CITY OF PORT ST. LUCIE FLORIDA

By:

City Manager

ATTEST:

By:

City Clerk

By: _____
Authorized Representative of Ardaman & Associates, Inc.)

State of: FLORIDA

County :

Before me personally appeared: _____
(please print)

Please check one:

Personally known _____

Produced Identification: _____
(type of identification)

Identification No. _____

and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he executed said instrument for the purposes therein expressed.

WITNESS my hand and official seal, this

Notary Signature

Notary Public-State of Florida at Large.

My Commission Expires .
(seal



Ardaman & Associates, Inc.

City of Port St.
Office of Manag
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984

Geotechnical, Environmental and
Materials Consultants

Friday
1:00 PM

Attention: Ms. Cheryl Shanaberger, MPA, CPPO
Deputy Director OMB

Subject: Proposal for Construction Materials Testing
and Threshold Inspection Services
Proposed Ravenswood Community Center
Port St. Lucie, Florida

Ms. Shanaberger:

Ardaman & Associates, Inc. is pleased to submit this proposal for construction materials testing and threshold building special inspection services for the above referenced project. Ardaman & Associates, Inc. (Ardaman) has the professional staff and experience necessary to perform the required construction materials testing and special inspection services for the project.

We note that a *Threshold Inspection Plan* is not available at this time. This proposal provides an estimate of the anticipated costs associated with providing construction materials testing and threshold building special inspection services for the above referenced project.

CONSTRUCTION MATERIALS TESTING

It is our understanding that the project will include a single-story, 25,849 square-foot community center/gymnasium and a single-story, 11,304 square-foot classroom building. Associated parking/drive areas and utility service extensions/connections to the existing systems are also proposed as part of this project.

For budgeting purposes, we have prepared the following estimate of the number of tests, man-hours and costs associated with the construction materials testing services for this project:

Compaction/In-Place Density Testing:

Storm Water Pipe Backfill; 200 tests @ \$20.00/test.....	\$4,000.00
Sanitary Sewer Backfill; 80 tests @ \$20.00/test.....	\$1,600.00
Water Main Backfill; 20 tests @ \$20.00/test.....	\$400.00
Building Pad (Fill, Slab and Footing Subgrade); 240 tests @ \$20.00/test.....	\$4,800.00
Parking Lot (Fill, Stabilized Subgrade and Base Material); 150 tests @ \$20.00/test.....	\$3,000.00
Sidewalk, Curb and Miscellaneous Areas; 60 tests @ \$20.00/test.....	\$1,200.00

Lab Testing:

Modified Proctor Tests; 6 tests @ \$85.00/test.....	\$510.00
Limerock Bearing Ratio (LBR) Tests; 6 tests @ \$275.00/test.....	\$1,650.00

Concrete Testing:

Concrete Cylinders; Estimate 80 sets of 4 concrete cylinders @ \$85.00/set.....	\$6,800.00
Grout Prisms (CMU Cell Fill); Estimate 40 sets of 4 concrete cylinders @ \$85.00/set.....	\$3,400.00

Visual Weld Inspections for Structural Steel:

Senior Engineering Technician/Inspector: 60 hours @ \$55.00/hour.....	\$3,300.00
Certified Weld/Steel Inspector: 24 hours @ \$65.00/hour	\$1,560.00
Senior Project Engineer: 24 hours @ \$110.00/hour.....	\$2,640.00

Anticipated Hourly Charges (as needed for sampling, standby, report prep. and review, etc.):

Field Technician: 40 hours @ \$45.00 hour.....	\$1,800.00
Senior Field Technician: 40 hours @ \$50.00 hour	\$2,000.00
Senior Project Engineer: 20 hours @ \$110.00/hour.....	\$2,200.00
Clerical/Secretary: 20 hours @ \$42.00 hour.....	\$840.00

Subtotal - Construction Materials Testing: \$41,700.00

We strongly recommend that testing services during utility installations be provided on a full-time basis to facilitate construction and to provide improved quality control of the contractor's production and methodology. Full-time testing services can be performed at the contract hourly rates for our technicians in lieu of a per-test basis.

We note that density testing frequencies and all testing quantities are approximate and based on our experience with similar projects and anticipated contractor methodologies. Contractor methodology and changes in testing frequencies may affect the testing cost. Allowances for re-tests (from failing tests) are not included herein. The contractor should contact Ardaman & Associates= Port St. Lucie Office at (772) 878-0072 a minimum of 24 hours prior to any testing and 48 hours prior to any inspections or weekend and evening work. Unit rates apply to standard working days, Monday through Friday, 7:30 a.m. to 5:00 p.m. Testing and hourly rates will be increased by 50% for weekend, holiday or after-hours services. Costs associated with asphalt testing (either in the field or laboratory) are not included herein; such testing can be performed if requested. Additional services not included in the above cost estimate will be charged using the unit rates in our continuing contract.

If our testing estimate for a specific work element is insufficient for that particular activity, resources from another work element can be used without prior authorization from the client as long as our total cost estimate is not exceeded. The actual cost of our services will be a function of the quantities of work performed in accordance with the unit rates in our continuing contract.

THRESHOLD INSPECTIONS

Mr. William R. Goodson, P.E. with Ardaman is a registered Special Inspector (Florida P.E. No. 37935 and Special Inspector Florida No. 1003) will serve as the Special Inspector (Threshold Inspector) for the project. The required special inspections will be performed by qualified Ardaman personnel, serving as agents for, and under the direct supervision and control of the Special Inspector. Mr. Goodson, P.E. would also make periodic, unannounced visits to the site and/or supplement the special inspections being conducted by his agents during the construction phase of the project. Mr. Goodson, P.E. would be responsible for reviewing his agent's daily inspection reports, managing re-inspections for approved corrective actions of deficiencies, and for issuing periodic summary reports.

We propose the following unit rates for these services, which are consistent with the unit rates in our continuing contract with the City of Port St. Lucie:

Special Inspector/Threshold Inspector:.....	\$135.00/hour
Senior Project Engineer/Threshold Inspector Agent: .	\$110.00/hour
Project Engineer/Threshold Inspector Agent:	\$95.00/hour
Technical Secretary:.....	\$42.00/hour

Inspection services will be charged at hourly rates, and only for time spent on behalf of the project. It is our understanding that Threshold Inspections are required for the City building only and not the classroom building. For budget purposes we have estimated the project construction duration requiring threshold inspections to be approximately 20 weeks (5 months) to substantial completion. Based on a similar type of project (Digital Domain) we are completing for the City of Port St. Lucie, we have estimated the cost of threshold inspections to be as follows:

Threshold Inspector (On-Site Agent) (anticipate an average of 20 hours/week):

Senior Project Engineer; 15 weeks @ 20 hours/week @ \$110.00/hour \$33,000.00
Project Engineer; 5 weeks @ 10 hours/week @ \$95.00/hour \$4,750.00

Special Inspector (anticipate an average of 10 hours/month):

5 months @ 10 hours/month @ \$135.00/hour \$6,750.00

Technical Secretary (anticipate an average of 8 hours/month):

5 months @ 8 hours/month @ \$42.00/hour \$1,680.00

Subtotal - Threshold Inspections **\$46,180.00**

The actual cost of our services will be a function of the quantities of work performed in accordance with our contract unit rates. We can provide a more detailed proposal and budget once anticipated project durations and a *Threshold Inspection Plan* become available.

If this proposal meets with your approval, please issue the purchase order that will be assigned to this portion of the project. Please contact us if you have any questions or require additional information.

Best Regards,
ARDAMAN & ASSOCIATES, INC.

Dan J. Zrallack, P.E.
Branch Manager



Ardaman & Associates, Inc.

Geotechnical, Environmental and
Materials Consultants

March 23, 2011
AAI Proposal File No. 11-64-3653

Tuesday @ 11

City of Port St. Lucie
Office of Management and Budget
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984

Attention: Ms. Cheryl Shanaberger, MPA, CPPO
Deputy Director OMB

Subject: Proposal for Construction Materials Testing
and Threshold Inspection Services
Proposed Ravenswood Community Center
Port St. Lucie, Florida

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<i>Subtotal - Threshold Inspections</i>	\$46,180.00

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Best Regards,
ARDAMAN & ASSOCIATES, INC.

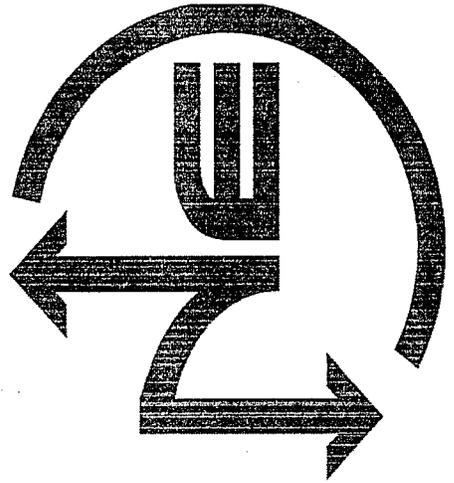
Dan J. Zrallack, P.E.
Branch Manager

SERVICE	A UNIT COST	D UNIT COST
EARTH WORK & SAMPLING		
ENGINEERING TECH	\$20.00/TEST	\$48.00
SITE GRADING	?	\$23.00/HOUR
BUILDING, FOOTINGS & SLAB	\$20.00/TEST	\$23.00/HOUR
DRAINAGE	?	\$23.00/HOUR
SEWER & WATER	\$20.00/TEST	\$23.00/HOUR
STABILIZED SUBGRADE	\$20.00/TEST	\$23.00/HOUR
BASE COURSE	?	\$23.00/HOUR
SIDEWALK SUBGRADE & CONCRETE PAVING	\$20.00/TEST	\$23.00/HOUR
CONCRETE TESTING & MASONRY		
FIELD TECHNICIAN	\$20.00/TEST	\$48.00/HOUR
THRESHOLD INSPECTIONS	\$55/ HOUR & STEEL \$65/HOUR	\$72.00/HOUR
LABORATORY TESTING		
PROCTORS	\$85.00/TEST	\$110.00
LIMEROCK BEARING RATIO	\$275.00/TEST	\$330.00
CONCRETE CYLINDERS	\$85.00/SET (4 CYLINDERS EACH)	\$16.50/CYLINDER (X 4 = \$66/SET)
GROUT PRISMS	\$85.00/SET	\$83.00/SET
MORTAR CUBES	?	\$11.00
ENGINEERING & REPORTING		
SENIOR/THRESHOLD	\$110.00/HOUR	\$155.00HOUR

NUTTING

ENGINEERS OF FLORIDA, INC.

Threshold And Construction Material Testing for Ravenswood Community Center Project

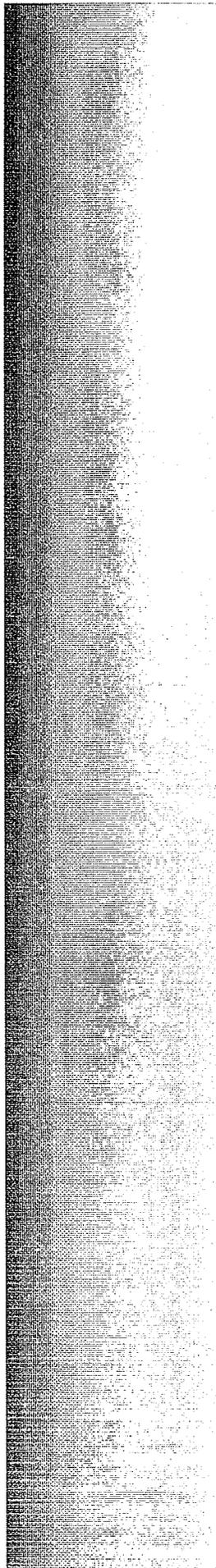


Presented to:

The City of Port St. Lucie

March 2011

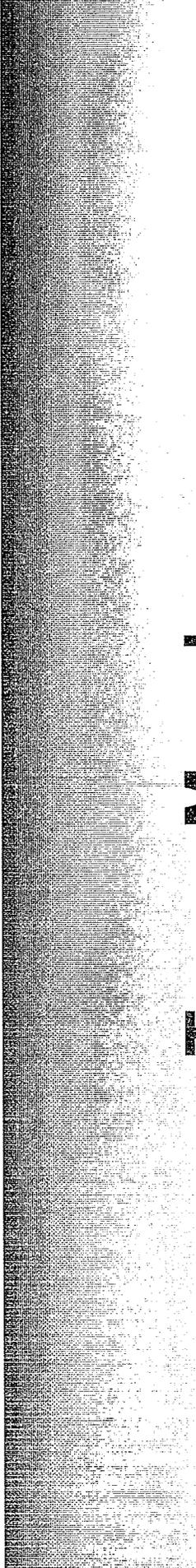
Your Project is Our Commitment



Team Members

James J. Flaig, P.E., SI #660 – Owner; Special/ Threshold Inspector

- 40+ year history with Nutting (began with HC Nutting)
- Licensed Threshold Engineer
- Past President of Florida Engineering Society
- Served as expert witness on behalf of public and private clients

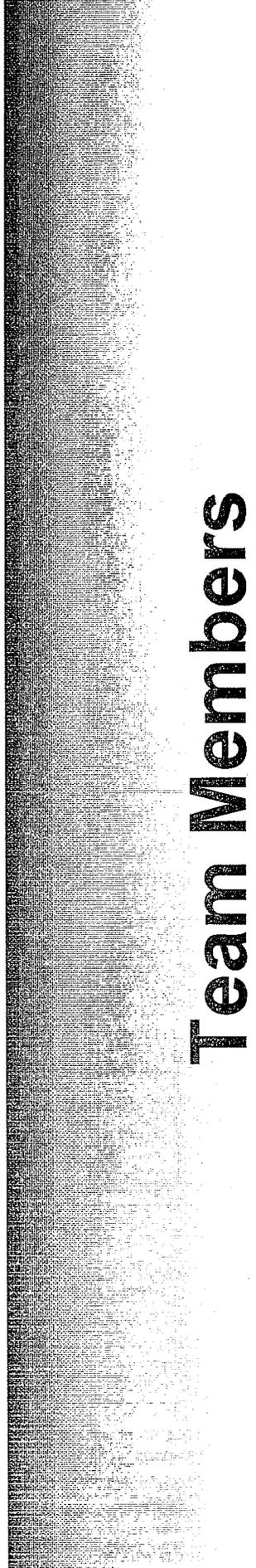


Team Members

**Richard Wohlfarth, P.E., BN #3580- Owner/ Director of
Engineering**

- Florida resident for over 40 years; UF Graduate
- 20 years experience; 15 years with Nutting
- Personally involved with services on 100's of projects
- Licensed structural building inspector - State of Florida
- Community Involvement – MATHCOUNTS & Science Fair
- Past President of Florida Engineering Society

Celebrating 44 years in Florida!

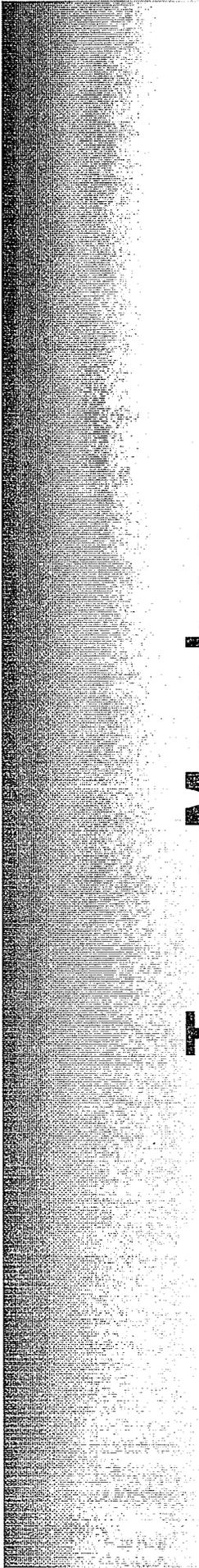


Team Members

Russell Morris, BN #4661 - Resident Inspector/
Threshold Inspector Agent

- Treasure Coast resident
- 25 years experience; 4 years with Nutting
- Previous experience includes Building Inspector for Indian River County and the City of Fort Pierce
- Licensed structural building inspector - State of Florida

Celebrating 44 years in Florida!



Team Members

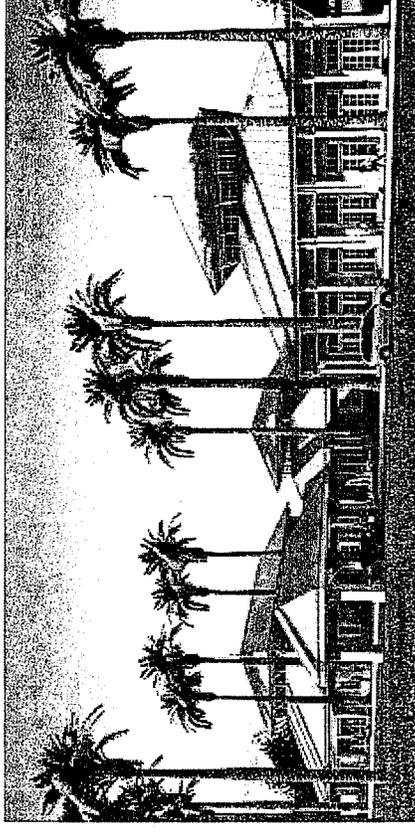
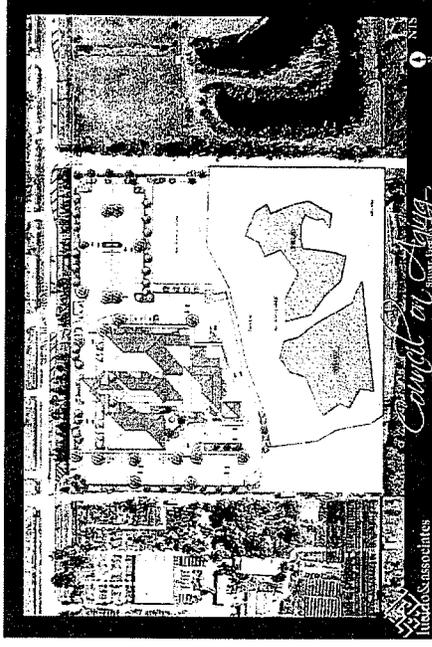
Jose Molina, Field Technician

- ACI Concrete Field Inspector 1
- Troxler Nuclear Gauge
- Fluent in English and Spanish
- 5 years with Nutting
- experience includes construction materials quality control testing and inspection, embankment testing and inspection, pavement subgrade and base course testing and inspection, demucking inspection, structural and concrete, concrete testing and inspection, installation inspection and pipeline backfill testing inspection

Celebrating 44 years in Florida!

Kane Senior Center/ Council on Aging, Stuart

- 34,125 SF senior community center
- Geotechnical exploration and engineering including monitoring of site work and building pad preparations
- Construction material testing
- Threshold inspection services

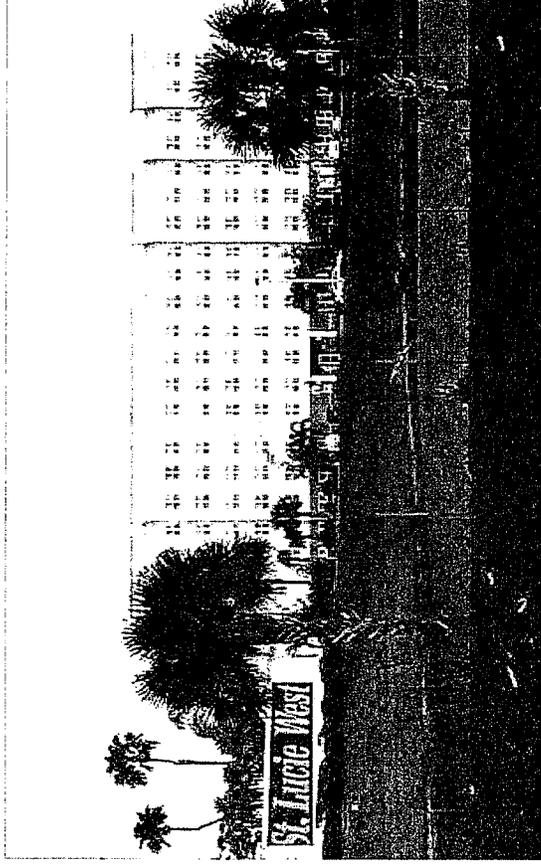


General Contractor: Klewin Construction

Celebrating 44 years in Florida!

Residence Inn, Port St. Lucie

- 6-story 89,000 SF hotel with associated parking, drive area and a restaurant building.
- Geotechnical exploration and engineering including monitoring of site work and building pad preparations
- Construction material testing
- Threshold inspection services

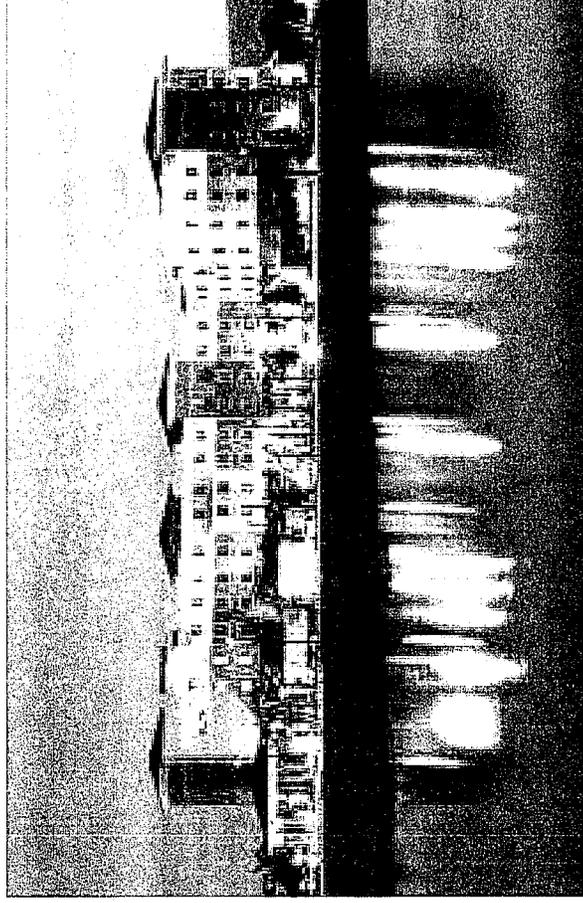


General Contractor: OTO Development
LM Development

Celebrating 44 years in Florida!

Hilton Homewood Suites @ Tradition, Port St. Lucie

- 5-story 80,000 SF hotel with associated parking, drive area
- Geotechnical exploration and engineering including monitoring of site work and building pad preparations
- Construction material testing
- Threshold inspection services



General Contractor: BBL

Celebrating 44 years in Florida!

Office Depot Global Headquarters, Boca Raton

- Three 5-story connecting buildings, 650,000 SF of office space, a three-story parking garage and two one-story parking garages
- Additional geotechnical exploration/engineering services, vibrocompaction monitoring of 1898 vibrocompaction points
- Construction material testing including floor flatness testing
- Threshold inspections
- Also performed the roof inspections for Flagler Development Group, as well as the sunshade & off site work for Flagler.

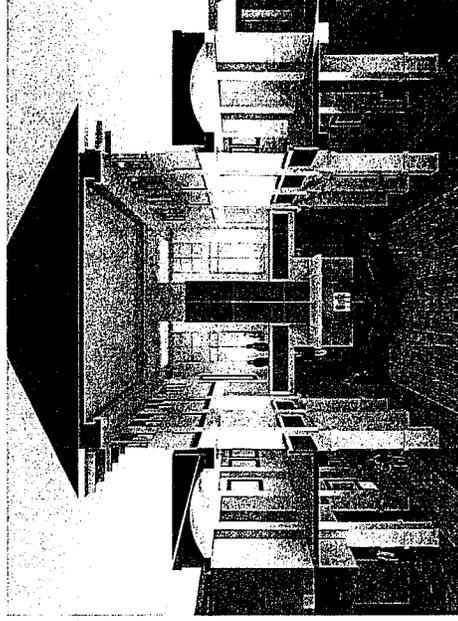
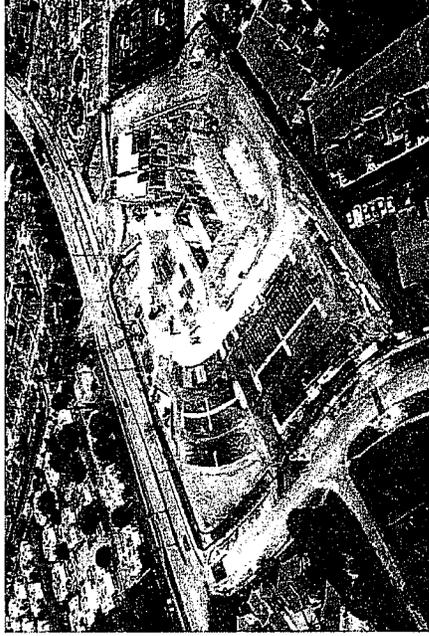


General Contractor: Balfour Beatty

Celebrating 44 years in Florida!

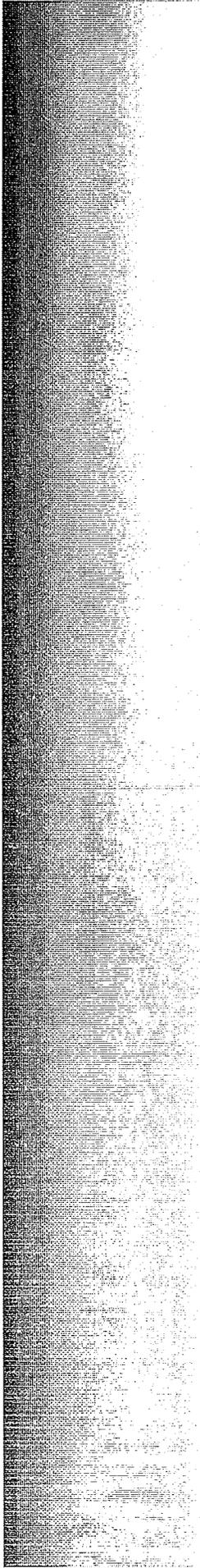
Village of Wellington - Municipal Building, Park & Amphitheater

- Two-story 53,000 SF footprint municipal building, a one-story 1,200 SF restroom building and playground structure in the park area, a 3,200 SF amphitheater, asphalt paved parking lots and roadways.
- Geotechnical exploration/ engineering services
- Construction material testing
- Special inspection services



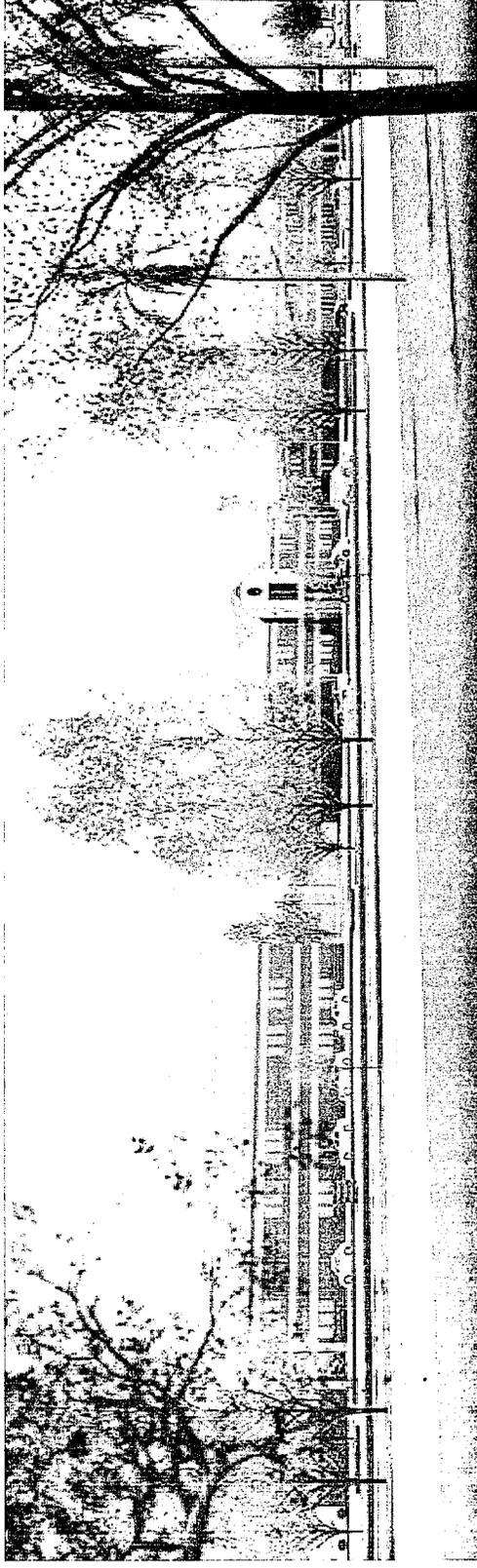
General Contractor: Weitz Construction

Celebrating 44 years in Florida!



Stuart Middle School, Martin County

- Two-story 51,000 SF classroom building, 2 retention areas, car loop, bus loop
- Our Services: Geotechnical exploration/ engineering, construction materials testing, special inspection services

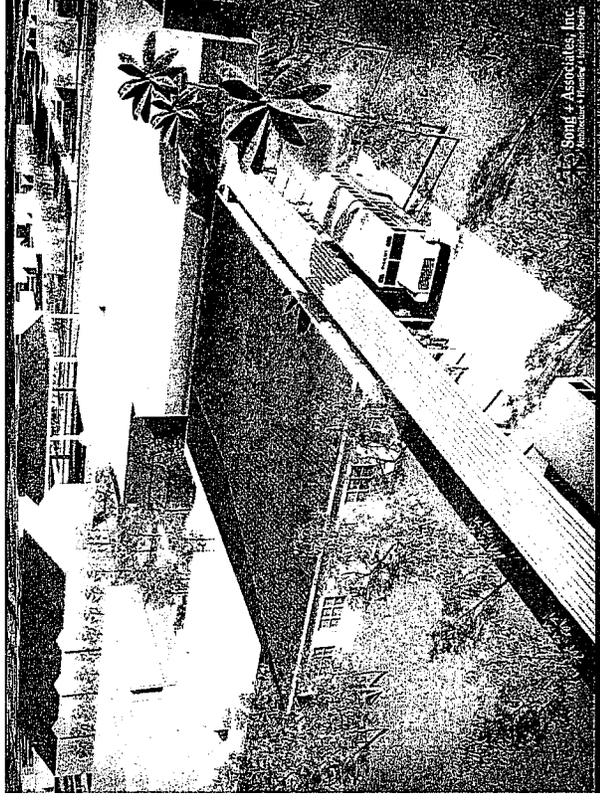


General Contractor: Proctor Construction

Warfield Elementary School, Martin County

Music, Art & Skills Building

- 1-story 7,000 SF classroom building
- Geotechnical exploration/
engineering
- Construction materials testing
- Special inspection services



General Contractor: Paul Jacquin & Sons

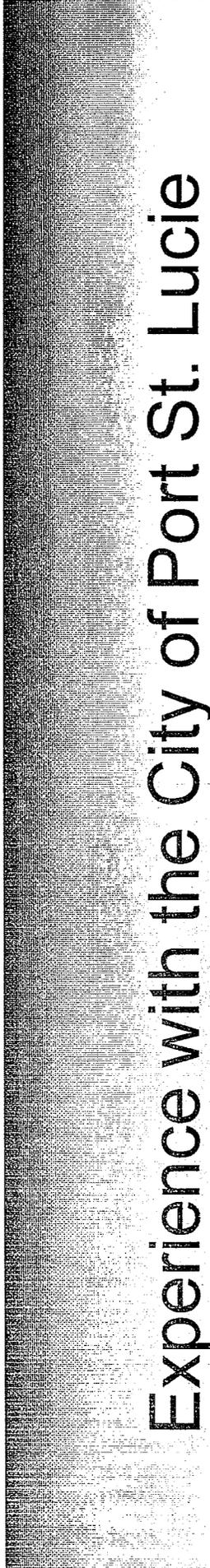
Celebrating 44 years in Florida!



Experience with the City of Port St. Lucie

Port St. Lucie Boulevard Widening, Gatlin Boulevard to Becker Road

- This length of roadway includes two bridges over two canal crossings, five mast arm locations, and four to five retention areas to be excavated during construction and replacement of distressed roadway areas.
- Our geotechnical services involved staggered borings in each direction in 100' intervals. Approximately 1700 LF of borings were performed.
- Asphalt cores were also taken and piezometers were installed to determine ground water depth throughout the road length. Given the busy nature of this roadway, it involved alot of coordination and safety factors. The roadway is still under design at this time.



Experience with the City of Port St. Lucie

Eastern Watershed (Drainage) Improvement Project- 2 sites

- Patio Circle STA
- Elks-Cane Slough STA

Leafy Road culvert replacement

Left turn lane extension construction

Savona Boulevard reconstruction (asphalt cores)

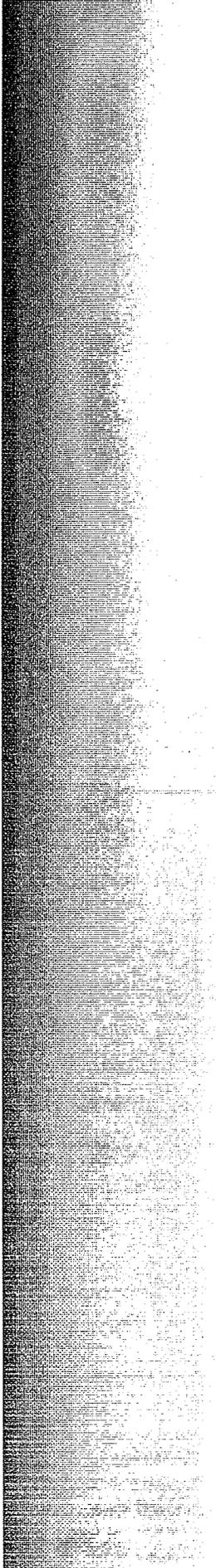
California Boulevard sidewalk improvements

Recent local projects

- Residence Inn, Port St. Lucie – OTO Development, Inc.
- Courtyard Inn, Port St. Lucie – OTO Development, Inc.
- Hilton Homewood Suites @ Tradition, St. Lucie – BBL & RC Stevens
- Port St. Lucie Mini Warehouses, St. Lucie – Stefano Building & Restoration
- Lawnwood Medical Park, Fort Pierce – HCA Management Services
- Ballantrae Golf & Yacht Club, St. Lucie – Mumma & Associates
- Publix Supermarket, Fort Pierce – Equity Ventures, Inc.
- Wadawash Car Wash, Fort Pierce – Demorest Construction Group

- SR 60 Roadway Improvements, Vero Beach – Handex Consulting
- Sebastian Municipal Airport Hangar, Sebastian – Ahrens Companies
- Lake Wood Park, Fort Pierce – Recreational Design Construction
- Hawksbill Village, Vero Beach – Triple Investors LLC
- BJ's Wholesale Club, Sebastian – Equity Ventures Realty, Inc.
- Multiple Colonial Banks, Vero Beach – Owen-Ames-Kimball Corp.
- Bella Vista Townhomes, Vero Beach – CJM Communities
- SR 60 Industrial Park, Vero Beach – Ric-Man International
- Falcon Trace, Vero Beach – GL Homes
- 3500 Acre Mining Operation Studies, Polk & St. Lucie County – Wills Ryan

Celebrating 44 years in Florida!



Safety is our Top Priority.

Mattie Allen – Full Time Safety Director

- Monthly safety meetings
- Ongoing OSHA safety training
- Oversees Jessica Lunsford Act
- Coordinates our drug-free workplace policy enforcement
- Unannounced job site visits to ensure field technicians are following safety procedures
- Coordinates in-house safety procedures and safety incentive program
- Company wide First Aid/ CPR Training and Certification

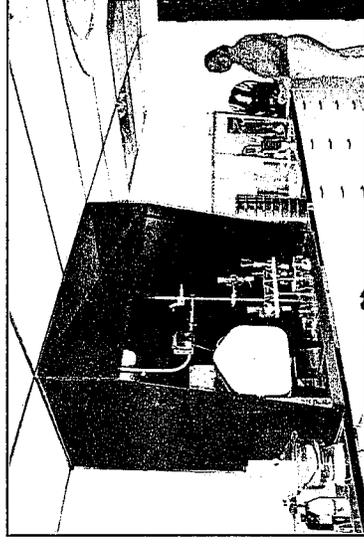
Celebrating 44 years in Florida!

Construction Materials Testing

- 20 field technicians & 3 laboratory technicians
- Trained, certified field and lab personnel
- ACI, CTQP (asphalt), AASHTO, Troxler nuclear, SFWMD, OSHA, FDOT

Laboratory Services

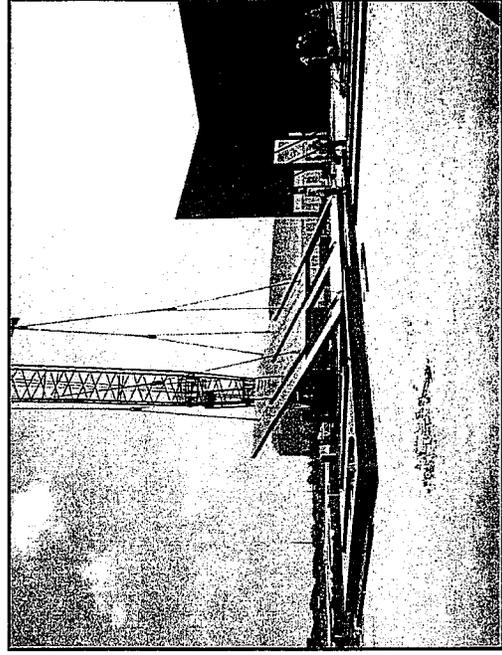
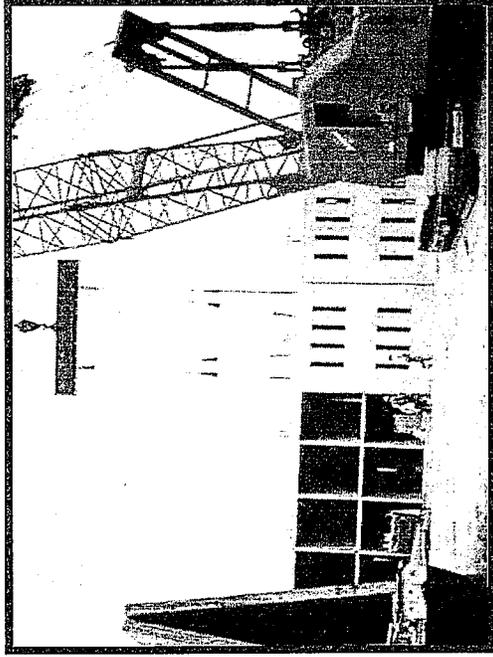
- AASHTO, FDOT & CMEC accredited;
Army Corp of Engineers
- Field testing and inspections of concrete, grout, soil, asphalt and steel.
- Laboratory testing of concrete, grout, soil, asphalt and steel.



Celebrating 44 years in Florida!

Inspection Services

- Jim Flaig, P.E., Certified Threshold Engineer
- 4 full-time State certified building inspectors
- Senior Inspector: 16 years with Nutting



Celebrating 44 years in Florida!

Gustavo Garrido P.E. #67001
3724 NW 43th Street
Miami Florida 33142
786-380-4765
305-633-5363
info@wrcscorp.com
City of Port Saint Lucie - Ravenswood Center
10-17-09

THRESHOLD INSPECTION PLAN

Scope of Work

This plan describes the work required to comply with the threshold law, Florida Statute chapter 553. The threshold inspector or his designated representative shall inspect the work in accordance with the permitted contract documents, and any written variations by the engineer of record. The official contract documents are the permitted plans, recorded addenda, and specifications with all amendments thereto, including the threshold inspector's plan.

Qualifications of the Threshold Inspector

The threshold inspector shall be a Florida registered engineer experienced in structural engineering and certified as required by current law. The threshold inspector shall have a minimum of seven years experience in the recent design and inspection of similar structures.

The threshold inspector may send a full time employee as his/her authorized representative to the project. The threshold inspector's representative shall have a minimum of three years of experience in inspection, knowledge of the structural systems in the project, and applicable codes and standards. Other qualifications of the authorized representative shall include specialized training in the assemblies and materials inspected and licensure as a professional engineer or architect, graduation from an engineering program in civil or structural engineering, graduation from an architectural education program, or licensed as a standard building inspector or general contractor.

Submit resumes of both threshold inspector and threshold inspector's representative to the building department for review and acceptance. Do not change the threshold inspector or his representative during the duration of the project, without prior notification and approval of the Building Official.

The threshold inspector is to provide the owner with insurance certificates for all applicable coverages, including professional liability, specifically covering such special inspection assignments, general liability, automobile coverage, and workmen's compensation.

Responsibilities and Limitations of the Threshold Inspector

The threshold inspector shall maintain a record of the progress, working conditions, any instructions or observations given to the contractor, and suspected deviations from the contract documents. The threshold inspector shall be on the job site when structural work on the primary structure is scheduled, perform required inspections and note compliance or deviations promptly to avoid delays of the work.

The threshold inspector is not to make any design decisions or interpretations of the contract documents, nor direct the work of the contractor.

Reporting Information and Observations

The signed threshold inspector's daily reports shall be in writing before leaving the project site. Submit copies to the Building Department, Owner's authorized representative, the Architect, the Contractor, and the Structural Engineer of record on a weekly basis under a cover letter signed and sealed by the threshold inspector. A daily log, which will detail all inspections made will be prepared and kept at the project site. The log shall include a list of deficiencies with dates & types of resolution.

It is the duty of the threshold inspector to notify the Building Official, Contractor, Architect, Engineer of Record, and Owner of the following:

- The use of materials, equipment, or workmanship, which does not conform to the official contract documents or which may cause improper construction.
- Work which is not being done in accordance with the approved official contract documents.
- The recommended removal or repair of faulty construction, which is performed without inspection and not capable of being inspected or tested in place.
- The request for interpretations from the architect/engineer of record.

Upon completion of the structural construction and prior to the issuance of a certificate of occupancy, a signed and sealed statement by the threshold inspector shall be submitted to the building department stating that the portion of the project under his inspection responsibilities has been constructed in general conformance with the contract documents. This statement shall be in accordance with Section 553.79(7)a, of the Florida Statutes.

Requirements of the Owner

The owner is defined as an authorized employee of Program Management.
The owner shall ensure that a qualified testing agency is retained.
The owner shall ensure that a geotechnical consultant is retained to confirm that the specified foundation preparation is performed.

Requirements of the Contractor

The contractor will cooperate with and assist the threshold inspector in performing his inspection duties as specified herein. The threshold inspector shall have free access to the project at all times.

The contractor will advise the threshold inspector, in advance, of construction schedules and planned operations in order to assure timely and appropriate observation and inspection of items specified herein. The minimum notice given the threshold inspector shall be 24 hours prior to the time of the inspection or concrete pour.

The contractor shall provide coordination drawings for all sleeves of all excavations under or adjacent to foundations before scheduling inspections. Drawings shall include depths, offsets, and Details of maintaining foundation integrity.

The contractor shall furnish in a timely manner to the threshold inspector, copies of all reviewed and accepted submittals including but not limited to revised drawings, shop drawings, supplemental sketches, correspondence, etc. for the structural elements of the project.

The contractor will provide the threshold inspector with private, non-shared office facilities at the construction site to accommodate his needs. As a minimum, this office is to be equipped with the following items: desk, chair, plan table, plan rack, filing cabinet, telephone, utilities, air conditioning, toilet, and janitorial service. These facilities may be included as part of, but private from, the District's office space.

The contractor has the sole responsibility for any deviations from the official contract documents and the costs of rectifying those deviations.

Construction performed without inspection and that is unable to be inspected may require testing or removal as determined by the structural engineer of record.

The contractor shall ensure that a signed and sealed shoring and re-shoring plan by a delegated engineer registered in the State of Florida is provided to the building department, architect, structural engineer of record, and the threshold inspector prior to any mandatory inspection by the threshold inspector.

Installation of all shoring and reshoring shall be in accordance with signed and sealed shoring and reshoring drawings prepared by the delegated shoring engineer. The delegated shoring engineer shall inspect to insure the work complies with the drawing requirements and specifications and provide a written report to the threshold inspector prior to all concrete pours. The threshold inspector is to verify the inspection visit and is to observe that the work appears to be in compliance with the drawings. Prior to all concrete pours, the general contractor shall prepare and submit a certification letter stating that each shoring and reshoring is in compliance with the shoring documents.

THRESHOLD INSPECTION GUIDELINES

The contractor shall provide copies of the appropriate specifications, current design drawings, erection drawings, shoring drawings, shop drawings, and photographs (if there is the danger of damaging adjacent buildings) for the Threshold Inspector for his use in his office.

Subsurface Investigation

Soil Investigation Report: All threshold buildings shall have a soil bearing and/or pile load capacity certification issued prior to placement of concrete for the foundation. The threshold inspector shall have a signed and sealed copy of this report s. The threshold inspector shall confirm that the specified notes regarding the foundation on the design drawings concur with the soils report.

Site Preparation

There shall be a pre-construction meeting with the contractor, geotechnical engineer, and the structural engineer of record to discuss the methods of how the contractor shall handle site preparation and foundation construction.

The geotechnical report provides site preparation recommendations. The geotechnical engineer and structural engineer of record shall review and agree upon the contractor's procedures and equipment The Owner shall hire a qualified testing laboratory to monitor, document, and certify all site preparation work complies with the geotechnical recommendations.

The contractor shall perform all other excavation and filling work shall in accordance with the geotechnical engineer's recommendations. Verify that the testing laboratory has performed required compaction tests prior to pouring concrete for the foundation.

Concrete

The contractor is to notify the threshold inspector a minimum of 24 hours prior to the placement of any structural concrete or removal of forms.

The threshold inspector shall be on site during the placement of concrete for the primary structural frame to ascertain the contractor follows proper concreting practices.

Observations by the threshold inspector shall include but not be limited to the following:

- Verify the design strength of the concrete delivered to the site conforms to the contract document requirements for the structural element under construction.
- Verify the approved concrete mix design is used.

- Verify, with the testing technician, the concrete slump delivered to the site meets the design parameters after adding any water at the site.
- Verify the contractor follows recognized industry standards in conveying concrete from the mixer to final place of deposit.
- Verify concrete is being deposited continuously or in layers of such thickness that no concrete will be deposited on concrete which has hardened sufficiently to cause the formation of seams or planes of weakness within the area of placement.
- Verify concrete is properly consolidated and thoroughly worked around reinforcement, embedded items, and into corners of forms.
- Verify after removal of formwork, the concrete surfaces do not have honeycombing and voids.

Forms

Provide forms for all footings and slabs on grade. The building department may wave the requirement to form footings with recommendation of the structural engineer of record after review of applicable site and soil conditions and the geotechnical report.

Inspect forms for their correct locations, required dimensions, alignment, form ties and spacers.

- Verify all forms are properly coated.
- Verify that all foreign materials are removed from the forms.

Footings

Prior to placement of reinforcing steel in footings, the testing laboratory shall perform density tests to verify proper compaction. Provide copy of the results of these tests to the threshold inspector at the job site before inspection of footings.

Embeds and reinforcing steel shall be checked for proper quantity, size, spacing, and minimum clearance from forms. Dowels for columns and walls shall be firmly supported and accurately located. The threshold inspector may request the contractor to spot check dowel position and splices. Verify all rebar are installed in accordance with the contract documents.

- Verify size, location, and elevation of sleeves as required to accommodate utilities.
- Verify that sleeves are constructed in compliance with design details.

Structural Slabs-on-Grade

- Verify that compaction tests are complete and meet design requirements prior to concrete placement.
- Check that the location and type of slab expansion joints and control joints confirm to the contract documents.
- Verify slab reinforcing steel for quantity, size, spacing, correct depth, and bar supports.
- Verify the reinforcing steel mat is tied and supported sufficiently to ensure correct positioning during and after concrete placement.
- Monitor concrete placement and materials testing laboratory for documenting of slump test, test cylinders, and sampling at intervals consistent with the contract documents.

Reinforcing Steel

- Verify that rebar grade, size, number, and location conform to the requirements of the contract documents and report deficiencies to the contractor.
- Verify minimum clearance requirements from formed surfaces meet code and contract document requirements.
- Verify that reinforcing is adequately supported to resist displacement or shifting during concrete placement.
- Verify that splices in reinforcing steel are located as shown in the approved drawings. Report any discrepancies to the contractor and engineer of record.
- Verify that hooks and corner bars are installed as required.
- Verify specific locations for placement of epoxy-coated bars as specified in the contract documents.
- Verify that all specified embedded items are installed as shown and secured against displacement prior to concrete placement.
- Verify that rebar surfaces are free of excess rust or other coating that may adversely affect bonding capacity. If oiling of forms is required, apply before reinforcing is placed.
- Verify additional reinforcement at openings, sleeves, and embedded items in accordance with the construction documents.

Expansion Joints

- Verify that the joint materials used are as specified and are installed in accordance with the manufacturer's recommendations.
- Verify that the location and size of structural expansion joints are as per the approved construction documents.

Control Joints/Construction Joints

- Note locations of all construction joints in beams/slabs, and confirm locations with the engineer of record if not shown on the contract drawings.
- Verify preparation of joints with regard to spliced dowels, keys, and bulkheads.

Curing

Curing procedures must be per contract documents, ACI "Standard Practice for Curing Concrete", and other recognized industry standards.

Openings

Check the location of all openings. If additional openings not shown on the plans are required, protect those openings with short diagonal reinforcing steel bars, as specified on the structural drawings. The engineer of record must approve the additional openings.

Anchors

- Periodically verify depth, diameter, and preparation of drilled holes used for structural fastening.
- Periodically verify proper mixing and installation of all structural epoxy.

Embedded Items

- Verify the utility conduits are placed in slabs as shown by the structural engineer's plans and Florida Building Code to preserve the structural integrity of the slab.
- Verify all embedded items are installed per the structural engineer's drawings and properly secured.
- Relocation of embedded items, which are in conflict with reinforcing steel, will not be permitted without prior approval of the engineer of record.

Concrete Columns

Concrete columns shall be checked for dimensions, rebar sizes, quantity, and correct placement.

Proper clearance between reinforcing steel and forms shall be maintained.

Reinforcing steel shall be checked after placement for proper anchorage, lap length, and orientation.

Cast-In-Place Slabs And Beams

- Inspect slabs and beams prior to the concrete placement for reinforcing steel quantity, placement, and configuration. Check placement of slab hook bars to the outer face of beams.
- Check for temperature steel in slabs. Observe slabs and beams during concrete placement.
- Concrete beams shall be checked for dimensions, rebar size, quantity, and correct placement.
- Proper clearances between steel and forms shall be maintained.
- Stirrups shall be checked for size, quantity, proper bends, and correct placement.
- Stirrups shall be spaced in accordance with the construction documents.
- Check corner bars and tie beam dowels for proper size, location, and lap splice length as shown on construction documents.
- Observe all concrete placement for compliance with ACI 318 requirements.

Shoring And Reshoring

- The special inspector shall review the shoring/reshoring plans and confirm that the spacing, layout, and specific components being used are consistent with the plans. All discrepancies noted by the special inspector shall be resolved prior to any concrete placement.
- All shoring and reshoring drawings shall provide adequate information on the sizes and capacities of the shores, including dimensions, so that the shores on the site can be verified as the proper unit. Required bracing shall also be indicated.

- Shoring and reshoring include all form/false-work required to support work, worker, and equipment until completion of curing.
- Shoring and reshoring shall be inspected for proper condition, spacing, plumb, and proper bearing of forming members on the shores. Bracing, when required, shall also be checked for proper connection to the shores.

Testing

- All concrete shall be checked for proper slump in accordance with the specifications. The number of slump tests and number of concrete cylinders shall be in accordance with the specifications.
- Preparation of the test cylinders shall be made by a certified technician of the testing laboratory.
- Technicians shall carry proof of certification and provide such to the Owner or Owner's representative upon request.
- Copies of the test reports shall be promptly furnished to the engineer, PBCSD project coordinator, contractor, and threshold inspector.

Any failed inspection shall be reported immediately upon the completion of the test to the Contractor and the Owner's representative.

Structural Steel

- Review approved shop drawings.
- Verify all steel sizes and **grades** with the contract drawings.
- Verify that members are correctly installed.
- For bolted connections, verify type of bolt, size, washer, and method of tightening. Confirm that the bolt tightening is completed in accordance with the contract documents.
- Verify that welded connections are performed by certified welders. Verify type of welding electrodes.

Masonry

- Verify that the type and size of the masonry units supplied are as specified and that storage and handling procedures are in accordance with the contract documents and manufacturers' recommendations.

- Verify fill cell locations; that vertical reinforcing steel is of the grade, size, and location specified; that rebar lap splices satisfy the minimum lap length specified; that the cells to be grouted are clear of excessive mortar fins, are vertically aligned, and clean of all mortar and debris.
- Verify that the horizontal reinforcement is present in the courses specified; that the horizontal reinforcement is lap spliced the minimum length specified. Also, that the prefabricated corners and tees are installed at wall corners and intersections.
- Verify that bond beams, lintels, tie-columns, tie beams, wall openings and additional reinforcement at wall openings are installed according to the contract documents.
- Verify that the grout, mortar, and fill cell concrete are in accordance with the approved mix designs, and that the materials are installed in accordance with the contract documents.
- Monitor grout placement. Verify that grouting is performed in lifts not to exceed the maximum specified and that the grout is consolidated as specified.
- Verify that masonry elements are constructed to the tolerances specified, including mortar joint thickness and vertical alignment.
- Verify that masonry is fastened to adjoining work with specified type, number of fasteners, and per manufacturer's requirements.
- Verify that the expansion joints are installed in the specified locations and are constructed to the specified dimensions.

Window/Door System

- Review product approvals of doors, windows, etc. that affect building integrity.
- Verify that allowable wind pressure on window/door system meets or exceeds the design wind pressure of the window/door opening.
- Verify that the window/door system has an approved protection system.
- Verify that the attachments, type, size, length, and spacing of the fasteners of the window/door system to the building substrate is as per the submitted product approval.
- Verify that the window/door system bear an approved label identifying the manufacturer, performance characteristics, and approved product evaluation entity.

Materials Testing

All testing requirements as defined in the structural documents shall be adhered to, with copies of results forwarded to the special inspector. This shall be as a minimum, and the special inspector may request additional tests as required. The intent of this aspect is to allow the special inspector to state that the materials used are in conformance with the requirements of the structural documents. All materials testing shall be executed by qualified laboratories and testing firms. Typically, this would include, but not be limited to, concrete testing, mortar cube tests, grout prism tests, weld testing and inspection, bolt torque confirmations, and other structural materials examinations as per ASTM standards specified in the project documents.

Submittals

All submittals shall be reviewed by the contractor and architect/engineer of record prior to transmittal to the threshold inspector.

The threshold inspector shall be provided with copies of all correspondence related to the construction of the project - all shop drawings, all deviations from the contract documents, all test reports, a full set of the contract documents, and any other items he may deem necessary to perform his duties.

Submissions for alternates as provided by the contractor or design professionals and documentation regarding acceptance or denial or proposed alternatives shall be provided to the threshold inspector as they become available.


Signed and sealed

Gustavo Garrido P.E. #67001

CHERYL STANBERGER
OFFICE OF MANAGEMENT & BUDGET
121 SW PORT ST. LUCIE BLVD
PORT ST LUCIE FL 34984-5099

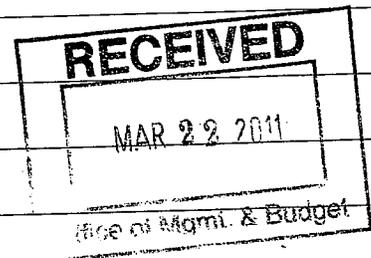
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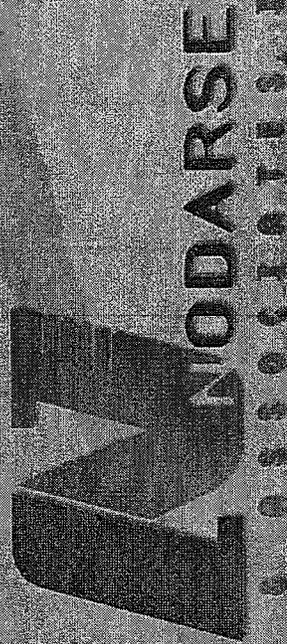
I INADVERTENTLY FORGOT TO HAND THESE OUT
AT THE Q & A LAST FRIDAY 3/18/11. KRISTINA
BERRYMAN WENT TO THE OFFICE ON
THURSDAY TO PREPARE THESE (SHE WAS ON
VACATION THIS WEEK) & PLEASE SHARE
WITH JIM ANGSTADT & LARRY SOUTHERLY.

THANK YOU,

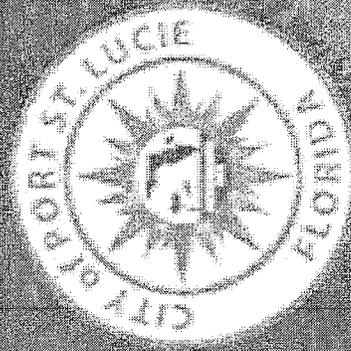
JIM PLATE

ASSISTANT COMMISSIONER
OF FLORIDA, INC





*Threshold Inspection and Construction
Materials Testing for Ravenswood
Community Center Project*



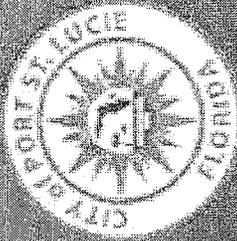
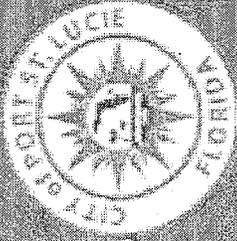
*City of
Port St. Lucie*



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Experienced Personnel

CITY OF ST. LUCIE



Corporate Support
Leila Jammal Nodarse, P.E.

Contract/Project Manager
Hugo E. Soto, P.E., VP (30)

Threshold Inspection
Dan Dunham, P.E., S.I. – Threshold Inspector (30)
John Postlethwaite – Threshold Inspector Agent (33)

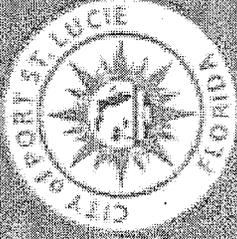
Materials Testing
Hugo E. Soto, P.E. – Project Manager (30)
Rutu Nulkar, P.E. – Project Engineer (6)
Juan Lopez, P.E. – Project Engineer (11)
Myron Bell – Senior Engineer Tech (17)
Dennis Torres – Senior Engineer Tech (12)
Edwin Ayesitas – Engineer Tech (7)
Steve Gray – Senior Engineer Tech (20)
Fernando Garces – Engineer Tech (24)

Laboratory Testing
Cathie Fickling – Engineer Tech (3)

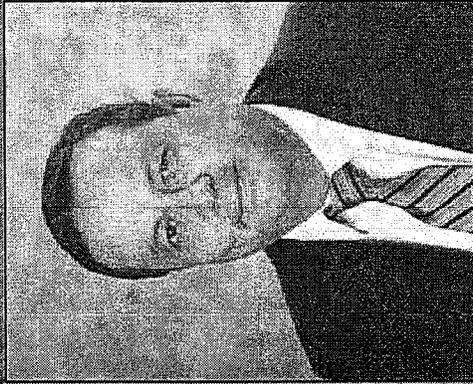


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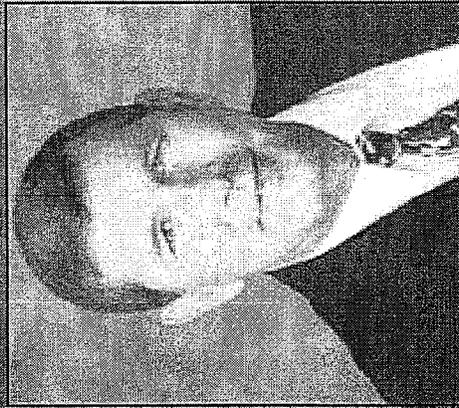
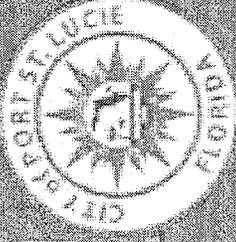
HUGO E. SOTO, P.E.



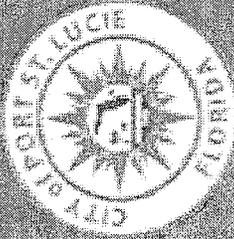
- 30 Years Experience
- Registered Professional Engineer #36782
- Geotechnical Engineering
- Construction Materials Testing
- Inspection Services
- Noteworthy Projects
 - 25th Street Bridge Evaluation, St. Lucie County
 - Becker road/I-95 Interchange, St. Lucie County
 - Crosstown Parkway/I-95 Interchange, St. Lucie County
 - North County Airport Building E and F, Palm Beach County
 - Lake Worth Medical Center, Palm Beach County
 - Miami Intermodal Center Car Rental Facility
 - Pahokee Middle School



Dan Durham, P.E., S.I.



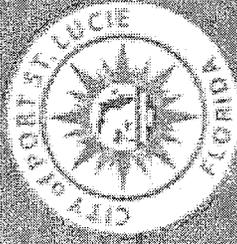
- 30 Years Experience
- Registered Professional Engineer #36782
- Registered Special Inspector for Threshold Buildings #928
- AWS Certified Welding Inspector #93030221
- Threshold Engineer – over 100 buildings
- Noteworthy Threshold Projects
 - Dania Park
 - UCF College of Medicine
 - Nemours Children Hospital
 - 55 West At Esplanade
 - The Vue At Lake Eola
 - Hilton & Waldorf-Astoria At Bonnet Creek
 - Rosen Shingle Creek



John Postlethwaite

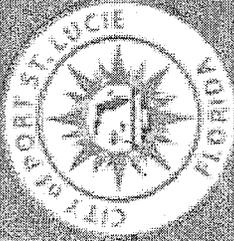
- 33 Years Experience
- Registered Standard Inspector #BN-0002543
- Threshold and Special Inspection
- Structural Steel Inspection
- Construction Materials Testing
- Noteworthy Threshold Projects
 - City of Port St. Lucie Building Department
 - City of Port St. Lucie Administration Building
 - South Florida Water Management District (SFWMD) Emergency Operations Center
 - PBIA Administration Building & Skylight Replacement Terminal Building
 - Edge Condominium- 22-Story Structure
 - North County Airport Building E and F
 - Pahokee Middle School
 - Lake Worth Medical Center
 - Dania Park
 - Jackson Memorial Hospital

Construction Services



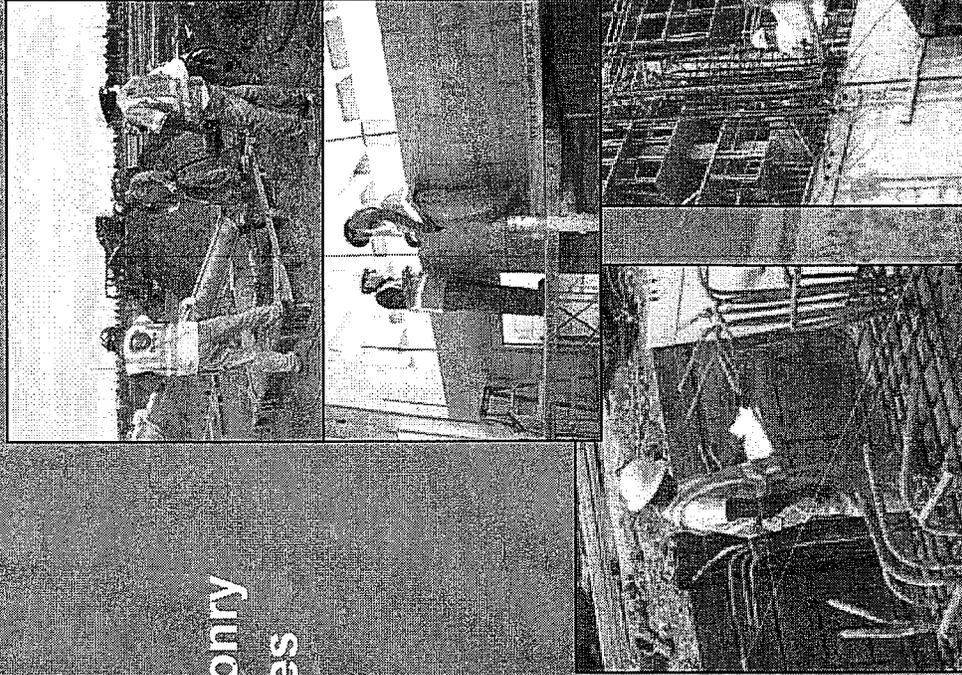
- Engineering Technicians Earthwork Observations
- In-place Density Testing of Structural Fill
- In-place Density Testing During Backfill and Utility Pipelines
- In-place Density Testing During Backfill of Drainage and Sewer
- Laboratory Moisture-Density
- In-place Density Testing of Pavement
- Limerock Bearing Ratio (LBR)
- In-place Density Testing During Building Construction
- Continuous Concrete Testing
- Testing of Structural Masonry During the Construction of CMU Walls
- Compressive Strength
- Engineering Oversight During Construction to Coordinate the Test Program

Threshold Inspection



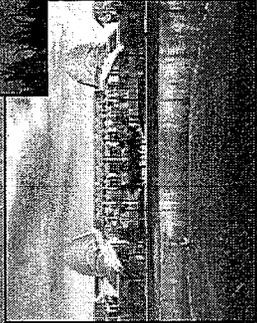
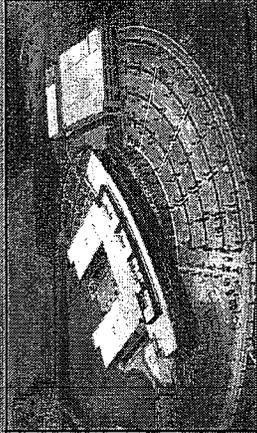
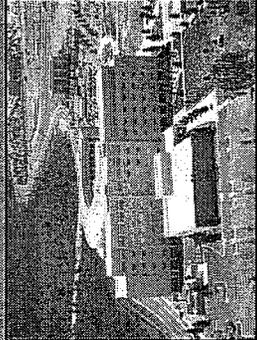
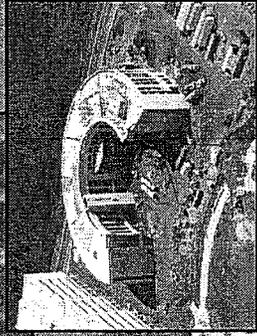
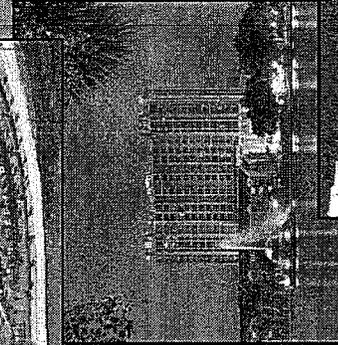
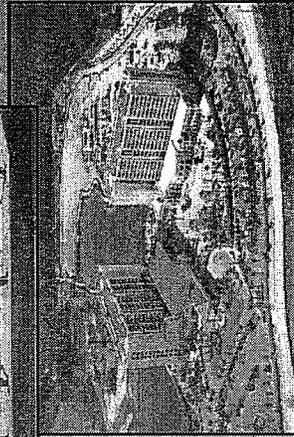
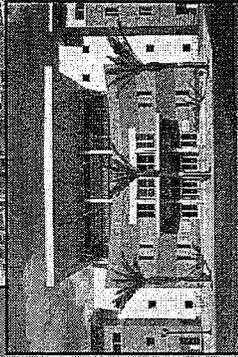
CITY OF FORT ST. LUCIE

- Foundation
- Reinforced Concrete
- Structural Steel
- Reinforced Concrete Unit Masonry
- Light Gauge Metal Roof Trusses
- Reporting



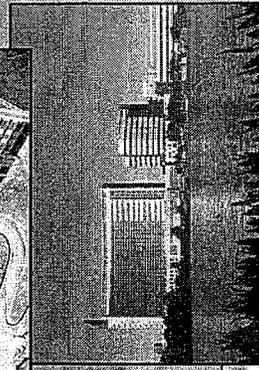
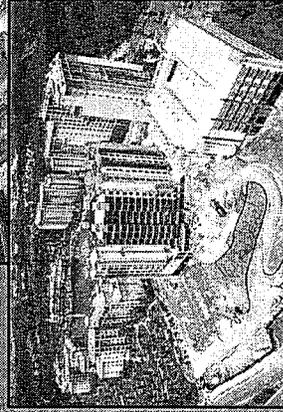
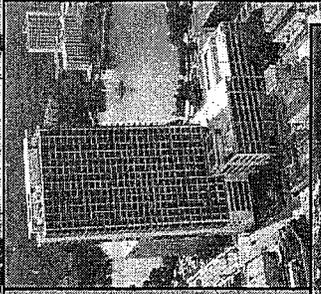
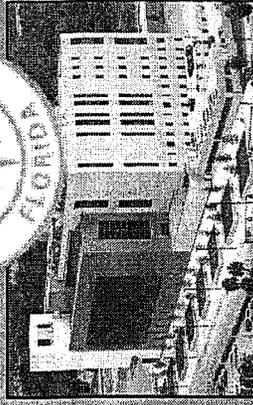
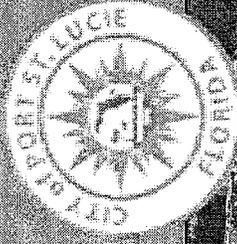
MODARSE
CONSTRUCTION, INC.

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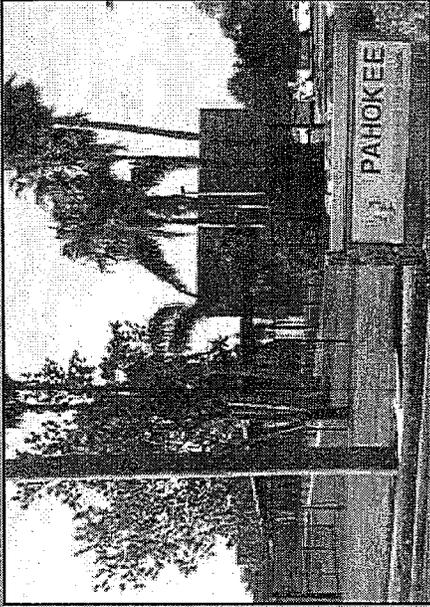
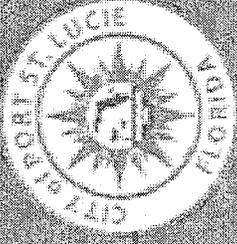
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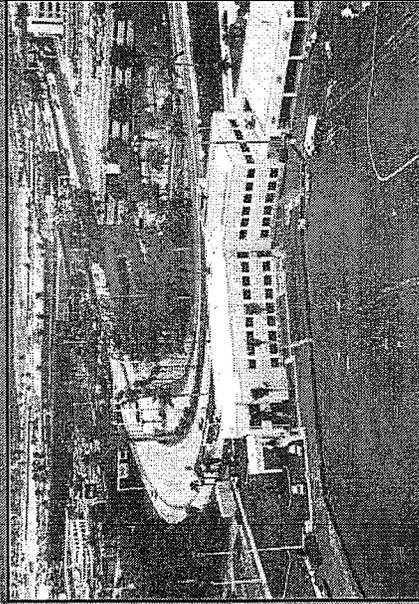


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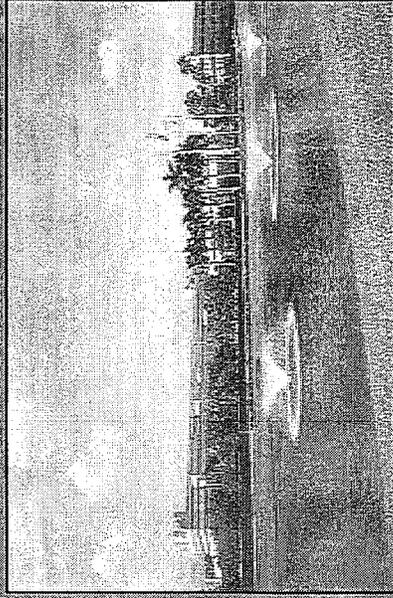
Experience



Pahoee Middle School
School District of Palm Beach County

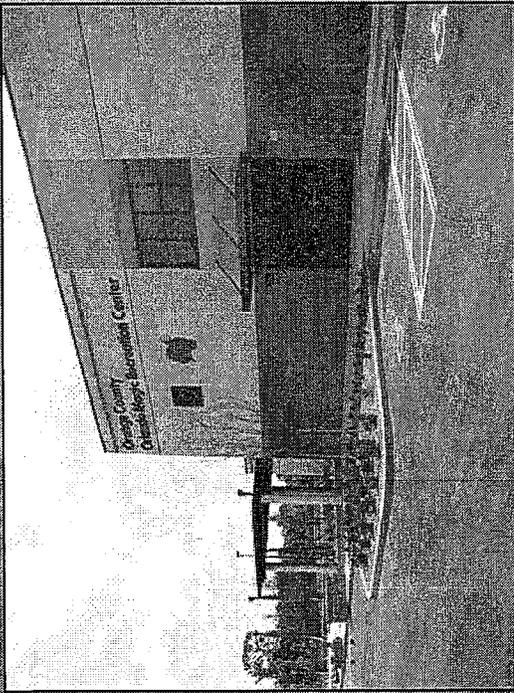
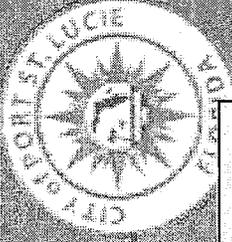


Administration & Communication Bldg
Palm Beach International Airport



Skylight Terminal
Palm Beach International Airport

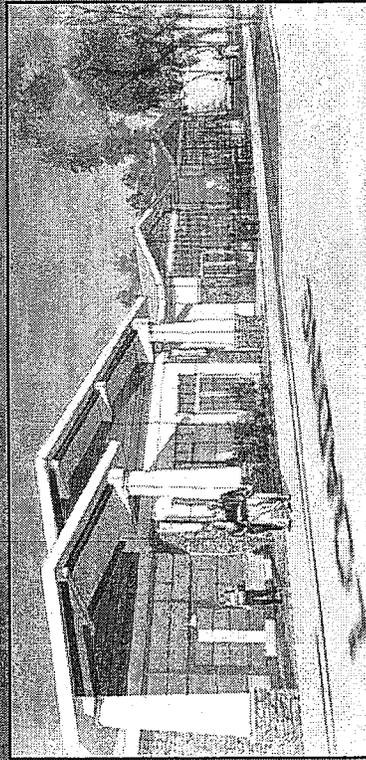
Experience



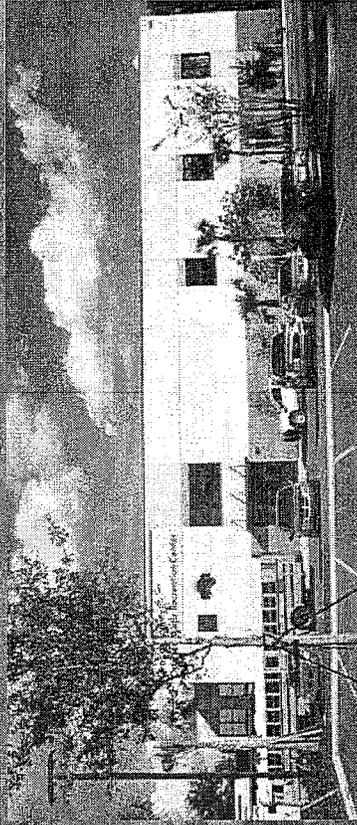
South Econ Park
Orlando Magic Rec Center



Meadow Woods Park
Orlando Magic Rec Center

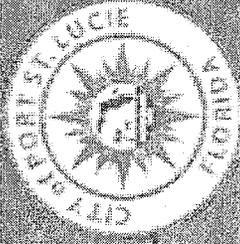


Community Center
City of Winter Park

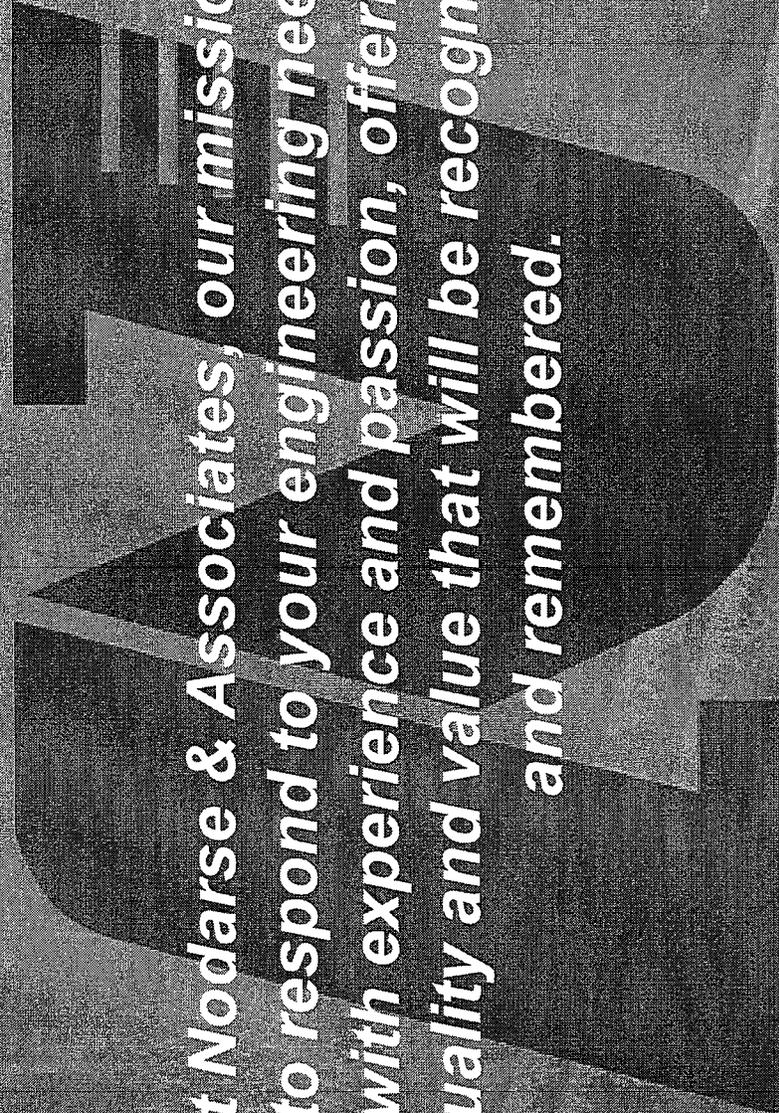


Goldenrod Park
Orlando Magic Rec Center

Q & A



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Evaluation Committee Presentation Q&A Session
20110042 –Threshold & Construction Inspection Services for Ravenswood Project
March 18, 2011

Good Morning Ladies and Gentlemen. This is the Question & Answer Session. I have distributed a sign-in sheet for everyone to sign in. This will be the format (had to call MIS to set up for presentations); everyone will be allowed three minutes which is what we allowed in the notification to you. This time will allow you to introduce yourself, speaking briefly about yourself. However, the Question and Answer sessions will vary because we want the committee members to gather as much information as they can for this particular project, so that will go as long as necessary. I am Cheryl Shanaberger, Deputy Director of the Office of management & Budget and the committee members are Jim Angstadt with Engineering and Laney Southerly with the Utilities Department.

This meeting is being recorded and if you do have a presentation, I will need an electronic copy of that. Email or flash is fine. We will go ahead and draw names. We had one firm that did not attend and we will be doing a conference call with them. A drawing took place to see which company goes first. #1 is Ardaman. Everyone is welcome to stay as this is a public meeting, but you do not have to stay; it's your choice.

ARDAMAN & ASSOCIATES – They were not in attendance, and a conference call was placed to them.

Q: PM was curious about your inspector and his welding qualifications. Did he hold a welding certificate and also does he have a certificate for structural steel because we will be using a lot of structural steel and the welds are going to be used and not bolts.

A: We had certified weld inspectors that we can send to the project for those phases of construction. We do have certified inspectors, yes.

Q: Are they certified not just in welding but in structural steel?

A: They are certified by the AWS (American Welding Society). There's not a structural steel certification that I am aware of.

Cheryl: He thought there was and I am not an expert, but, okay. Thank you.

Q: The next question is about the threshold resident. Do you intend to have that threshold resident inspector on the job at all times or what was your plan for this particular project?

A: Usually projects provide a threshold inspection plan that outlines what is required. Ardaman has a plan set for jobs that don't have a specified plan. Typically they are there before every pour to inspect the steel during the pour and then after the pour, just observing for cracks and things like that. If there isn't an approved plan, then we would do what we typically do and be present during every concrete placement and then prior to in order to inspect the steel and make corrections.

Q: Dan, what challenges do you foresee in a project like Ravenswood? Is there something that sticks out or is this a pretty basic job?

A: Other than the controversy with the award, hopefully that is all past us now. It's a pretty ordinary project. I know the college will probably want a little input since they are going to be involved with it. We have worked well with them so I don't see any problems there. I know the community is very excited about this project, so I don't know what kind of involvement they have but we probably don't want to be working at 5 o'clock in the morning, so there will probably be a lot of daytime pours. I really don't see any challenges though.

Q: Are we going to be okay if you have a family vacation planned during this project? (Laughs)

A: I don't have any plans; this vacation is it for a long time. If I can't be there for some reason, I will have someone else that Bill is very comfortable with for me. We will always be present when we need to be. The plan is that I will be there for 99% of it more than likely.

Q: Okay, because we can't get our inspections made via conference call.

A: (Laugh), no, I am sorry about that; there was nothing that I could do.

Cheryl: On our last presentation, we had a guy who cancelled his honeymoon to be here. I don't know if he got married or not after that.

Jim: Family comes first; the wife...

Cheryl: And no, they did not get the job; they came in #2.

Q: Dan, what is your company's philosophy in communicating with your staff and possibly also with your client? How do you foresee that?

A: Our philosophy in general is safety and honesty comes first in that order. That's Ardaman's philosophy. Communicating – we are not a very big office. We are one of the smaller offices of Ardaman and we communicate very well. Everybody has cell phones and we talk every day. We handle short calls very easily in construction on a regular basis. All of our guys talk among themselves and I'm always in contact with Bill Goodsend during these projects. He is very aware of what is going on when we are doing them. We don't ever have any issues with communication.

Q: What is your breakdown of public/private work?

A: Private work right now is probably less than 10%. We are hungry for work for sure. Most of it is municipal work; counties and cities and I don't see that changing soon. \

Laney: I have a question for Cheryl. It may not be appropriate, but you know me? How is this a fair set up and the other guys get to hear all the rest of everyone else...The #3 person gets to hear everyone else's answers but the #1 person didn't get to hear anyone's answers?

Cheryl: I don't make.

Laney: But this guy is kind of put on the spot

Cheryl: I don't make the law. The law says this is there and it's going to be ...I'm not a judge and I'm not a lawyer or a legislator and they are the ones that determine, in the state of Florida, that this is a public meeting and whether it's fair or not, it's not my problem. I have to do as the law says. There was a recent case, just to let you know. Well, it's not recent, it was several years ago, down in Everglades City where they were doing a CCNA like this and they actually had refreshments outside; coffee, donuts and stuff because it was a large project, and the director of the meeting made a suggestion after they made the selection of who was going to be going first and second that there was coffee and donuts outside for everyone. That was interpreted that they were not welcome in that meeting and there was a lawsuit and the city was fined and could not award to the firm that got it and they had to re-do the whole process. Even the impression that people cannot be welcomed apparently is, by a judge, deemed inappropriate and within the Sunshine law in Florida. I agree that it's not necessarily fair but it is law and that is why I never call names when making the selection, because if I made the selection then I could be determined to be favoring one firm over another.

Q: Tell me a little more about Ardaman.

A: Ardaman began in 1959 out of Orlando. Ardaman itself has just over 400 employees in different offices throughout Florida and now Louisiana. We are owned by a much larger company, TetraTech out of California, but Ardaman has been allowed to remain Ardaman throughout the process. We are still Ardaman, even though we are owned by another company; that was probably 7 or 8 years ago now. I think we have something like 9 offices throughout Florida and 4 or 5 in Louisiana. Again, we are one of the small offices in Port St. Lucie.

Q: How many staff members do you have in the Port St. Lucie office?

A: 6, I think, for testing and inspections.

Q: Where is your testing lab located?

A: Port St. Lucie

Q: What DOT certifications do you have? It's not a requirement for the job, I don't believe, but what do you have?

A: Whatever is needed. They wouldn't necessarily all come from my office, but asphalt, concrete, earthworks. All of my technicians have earthworks 1 and ACI 1. Additional staff have asphalt and all of that.

Q: In your opinion what would make you guys the choice? Why would we want to pick you guys?

A: We are very local to the project. It is just down the road from our office. I think we will be able to work very easily to help maintain the project schedule and account for whatever emergency testing is needed and also

we work very closely with the college. We have a very good, strong, relationship with them and they are comfortable with us. I think those are probably the two main reasons.

Q: Past performance on city projects or city-sponsored projects – have you had any issues in the past butting heads with engineers; not minor stuff, big stuff?

A: Yes, we had an issue with Torrey Pines a few years ago but I think it was more of an issue where the lowest bidding contractor was selected and if you try to get away with stuff...we weren't on-site all full-time to test behind him and he apparently wasn't doing what he was supposed to be doing when we were not there and it didn't get caught until very late in the project. Since then, we have been very careful about that type of scenario. When we are not on the job watching them all of the time we constantly are checking to make sure that what is being done is representative of their entire work for the section. We have learned from that situation or had any problems with that since. It was a pretty big issue that we dealt with and learned from.

Ardaman was asked if they would like to listen in on the other presentations. They are welcome to join and Cheryl did not hang up the phone and left the decision to them.

NODARSE & ASSOCIATES

Q: My first question is about the welding certificate. Does your inspector have a welding certificate and the structural steel certificate?

A: Yes, we do have either certification whenever needed. Again, there is no certification so much for the steel inspections and I concur with Ardaman, there is no certification. Only the welding certification. Just to add to that the AISC is the organization that provides guidance for structural steel inspections and I don't believe that they have a certification program but they do have procedures that you follow for tensioning and inspection of tension bolting connections.

Q: And what about welding connections?

A: Welding connections would be done by a certified welding inspector. I am a certified welding inspector as well.

Q: Industrial resident. In your proposal did you include originally having a resident inspector there at all times or what was your plan?

A: Again, the inspection plan would be determined by the project engineer. We work both ways; on an on-call basis depending upon the schedule. If the schedule is very accelerated and the city would like someone to be there constantly because you want the schedule accelerated, we can be called back in 15-20 min. however the idea is to meet the program. It would depend more or less on what the plan calls for and what the city would like; we would work both ways; on-call or as full-time.

Q: Where is your office located? Where would you be working out of for this project?

A: Basically, we have an office in West Palm Beach, about 45 min. away from here.

Q: Where is your lab located?

A: Same location. John, however, lives about 20 min. from the site so he can be here at any moment and again, we can be here any moment that you ask us for. Basically, you have talked about the mileage and all of that, we would consider us to be within Port St. Lucie. We can agree on a certain amount of travel time, 20 minutes or whatever that is, or just deal with full-time. We would like to work with you and would like to do whatever you feel is appropriate in that regard. We have worked with the city on several jobs; Crosstown and Becker Rd. and the bridge with DOT and everything was handled efficiently in that regard. That was on an on-call basis and also we had a full-time.

Q: What experience do you have with the soils in and around the area of Ravenswood?

A: A lot. We have done a lot of geotechnological processes. We have worked with Engine #4. We have a contract with FDOT for Engine #4 and we've worked in Broward County, West Palm Beach, Martin County and of course, St. Lucie. I have many projects in this area. I have a database that I can show you. The problems that we have with the soils here is the muck in certain areas since this used to be the Everglades. The soil was not really cleaned properly and fill was placed on top of the muck. Silt- soil on top of the surface sometimes causes compaction so we need to be very aware of the amount of silt that this site has that is the

reason why compaction is not achieved and we need to make sure that the moisture if appropriate according to the proctor. The moisture is very sensitive for the silt material.

Q: It said in the presentation about having about a 15-20 min. response time. You were referring to job and being in the area. John is mostly the threshold inspector, but not as far as materials testing? That would have to be more...?

A: The materials testing always has to be scheduled. I would like to have at least 12 hours notice. If you could call me at 5 PM, I can be here at 5AM in the morning. Many times, and this happens constantly, in the same day, sometimes they forgot to set up their schedule, especially if you don't have a special inspector, and you forgot and a truck is going to be here in an hour or two hours, you may ask me to be there. I will mobilize my people. We have enough sufficient to move. We've worked for all of the counties, Broward, West Palm Beach County, Port St. Lucie and Martin County so our technicians are all over. We can always just move around and cope with that. We are not going to say no, we can't be there the same day. We would like to deal with the contractor in the pre-construction meetings so that we can be sure to call us up 12 hours in advance. Everyone will have home numbers, evening numbers and we are available 24 hours 7 days a week, you can call anytime of the day, night or day, Saturdays or Sundays. I will respond immediately to the project and to anybody that is on the team. We also have some technicians that do earthwork and concrete in the area. We live in the area.

Q: What's your breakdown percentage-wise of public/private clients? Do you have any private clients in the Port St. Lucie area?

A: We don't have any private in the Port St. Lucie area today. All of the work that we are doing is with municipalities and DOT. We hold contracts not only for geotechnical but also for construction materials for DOT. We have all types of inspectors or technicians to do soils, concrete, asphalt, plant and field. We also tried to ascertain one of the lead technicians. In this case we have identified Dennis Torres because we try to get the same people, same technicians to the project site because they are most familiar with it. We try to maintain that and have the same people that are familiar and know what's going on. We like to create our relationship with the team. Not only from my standpoint but also with the people who work in the field because they are the ones doing the evaluations, testings and inspections.

Q: In your past experience with city projects, have there been any major issues that you've had to deal with or that you have learned from?

A: We really didn't have any issues but we were part of the investigation into the bridge because there was some cracking there and we were hired by the city to evaluate that. That was very interesting because there is a lot of claim for the contractor why there was movement of this bridge, so we came to a _____ and did a study and evaluated the potential problems as to how this situation occurred. We deal a lot with _____ problems. We did have an issue with the Crosstown project that we were working on because of the material on-site and we did learn a lot from that experience that we were having issues with density testing over there and we have coordinated with the city and made sure that we had resolved all issues in a timely manner. We have definitely learned a lot from that experience. We make sure that we check the log books frequently and stay on top of the records and the engineers check it on a regular basis, not relying only on the field people. We've learned a lot from that particular experience. I did review all of the field logs, density logs over there; one by one, signed and sealed those before submitted to the city.

Q: How long have you been in business? How long has Nodarse?

A: 20 years, started in 1991.

Q: How many offices do you have other than the one in West Palm?

A: 9 offices and close to 200 employees.

Q: Was the prior issue in failure to reports on those reports and inspector reports on those reporting is that what..

A: It was entering of densities in the log book. The field team always logs them and some of those that were entered...because you have them delivered in the field...and the situation was that when we got there some of the field workers entries were overanxious that we were there but were missing because they didn't make copies, so some of those we had to go back and...now we have decided that every time we do something we get two copies; one in the field and one for the original. We created original for the city and county that was

inspected at the site and ours is a photocopy and we write this information and put it into the computer so that the situation is that if a page of the log disappears, it's not gone.

Q: Just to keep me straight, on the one project that you referenced, 25th St. bridge? Is that actually the county?

A: Yes, it is the county. I'm sorry.

Q: What makes your company better than the other guys?

A: The knowledge that we bring and the experience that we have and the communication of reporting and issues to everyone on the team. I think once you work with you, you will realize that we bring very good communication with everyone that is involved with the team and the reporting situation. On time and accurate.

NUTTING ENGINEERS

Q: Public/Private Clients – What is your business model? What percentage base do you have overall?

A: I'd say currently about 50/50, it may be a little less on the private sector right now.

Q: 60/40?

A: Possibly.

Q: Are any of your private clients in the Port St. Lucie area?

A: Yes. HCA

Q: Any private developer clients?

A: No

Q: I'd like to hear a little bit out of Russell if we could, seeing how he is going to be on the project a little more than you are. Are there any secrets or tricks that you have planned to help with the project?

A: Just staying in contact with the design professionals, making sure that everything is intact and making sure that the project moves smoothly; trying to cut off any problems that I foresee coming up before they actually get there. By the way, Russell will maintain a deficiency file and detailed reports; reports in the trailer on a clipboard if needed. We do that on most jobs. I want to mention something, the structural inspector is also responsible for ensuring that any shoring and re-shoring is designed and inspected by a Florida PE. That's an important part of the threshold inspection.

Q: What is your experience with the soils in the city?

A: We've done several jobs in the city with soils and along the entire treasure Coast. Including PSL Blvd. for 4 miles and other projects.

Q: Tell me a little more about the E and I. It's going to make me a little nervous if it's something that doesn't exactly work for you.

A: Here's the thing, the firm I work with up north had a complete NDT department. Down here it's not needed because you have very few structural steel buildings so, to purchase the equipment and all of that, you know. It's mostly concrete construction. E and I is owned by _____ and I can send you material on that. The AWS certification, I don't hold myself, but as Jim is saying, we'd leave that up to professionals to do that more so that we do.

Q: Where are they located?

A: I think they are in Palm Beach and Ft. Lauderdale. They can mobilize; they are mobilizing to Ft. Pierce.

Q: Can you tell me a little more about Nutting? I know you have an office local.

A: We have a local office and one in Palm Beach and another in Miami. We've been in business continuous for 44 years. As a matter of fact, I could go back, I used to work with a company called HC Honeycutt up north and they founded HC Nutting company in 1932. This is a spin-off of that company.

Q: How many staff members do you have overall in the company?

A: We have 50. I'd say two years ago we had almost 90. Things have been lean as you know. We are keeping the wheels on. I had 9 state certified building inspectors and I think we have 4 right now. The backup for Russell in case he misses would be Jim Harper who is our senior structural inspector. He's on the Bethesda project right now. (Bethesda Hospital) Russell and I have collaborated on a lot of projects including Russell does a lot of concrete restoration on threshold buildings.

Q: On past performance on city projects have there been any major issues that you needed to deal with or change company philosophy or had to adjust?

A: Not that I am aware of.

Q: What kind of staffing do you have at the local office?

A: Overall we have 50 and at the local office we have 4, and we can move people in and out as possible. We work from Key West all of the way to Melbourne and mobilize people.

Q: Does your local office include testing lab?

A: It does. We own another unit next door, looking for future expansion, hopefully.

Q: What makes you better than the other guys? Tell me why I should hire you?

A: We are experienced; Russell is experienced; he and I have collaborated on a lot of projects, including projects similar to the community center such as gymnasiums. Russell has monitored a lot of school projects and we have excellent people working with us. We communicate well. (laughs – jokes about vacation) As far as the inspector goes Russell will be handling 100% of it, unless he is sick or whatever. Jim Harper is a capable substitute for him. We are in close proximity to the project and very familiar with the Treasure Coast in general.

Cheryl: Anyone who would like to continue to stay is welcomed to do so. Our top scoring firm was Ardaman, I believe, when they were originally scored for the short list.

Question from Audience: You are going to score right now. If we wait, will we know the results?

Cheryl: Yes – and you are welcome to stay here as it is a public meeting. What will happen today is the committee will make their selection and then we will begin negotiating with that first top-ranked firm. It will actually be the Council's decision in the end and they do not always go with what the committee selects. That is the process.

Jim: We will need a little bit of help from you as to what we can use to base our decision on. Does it have to be strictly on the proposal and what was presented today or can we use our past experience on projects?

Cheryl: The more knowledge you have can certainly be used, so yes. We shouldn't have put them on the short-list if we have had major issues.

Jim: I needed them on the short-list because I needed their answer for the issues that we have dealt with and I really didn't get a satisfactory answer from Nodarse on the question I raised regarding past performance on city projects.

Cheryl: I will say that is why I asked a specific question and I don't believe I got an answer that was.... But my understanding is, just to clear this up, what I was told and the information that I was given was that they did take corrective action immediately and they have eliminated that problem that was on the job. The fact is that they really didn't discuss it very correctly here and maybe they are not aware of all of it. Maybe the people here were not involved with it and not aware of that particular issue. It is a concern that has been expressed to me as past performance of a particular issue. I was told it was corrected immediately and they did take action and it hasn't occurred again. That it happened is still there.

Jim: Just from my perspective, they sold themselves very good on past city projects which were a big part of that although Hugo said he had a lot of experience on Becker and I-95. I never saw him on the job and I was Project Manager. There was another engineer who is no longer with them who was on that job.

Laney: That's a tough one to address sometimes. Because sometimes employees that did really well are no longer with the company and sometimes employees that didn't do so well are no longer with the company. It's hard to say and, I think, everybody had issues it truly does come down to how they handled the issue and whether you expect that it's every going to happen again.

Jim: I am starting out, I think, in my selection of this is trying to eliminate somebody. I am looking at Nodarse right now because I just think they are too far away. I think they are too far away to respond, even though they look at it as they have local people, 12 hours away, their office, their lab, which is why I asked their questions – they are too far away.

Cheryl: And their lab is no local, correct?

Jim: That's correct. I've actually seen Nutting's. I've been to their shop before. They are on Bayshore, they are local.

Cheryl: On this type of project, I think it can be very important because you have a lot of things that are going to need to be coordinated and move right along. It's not like a road project when you do get a lot of planning ahead of time. You are dealing with a building, correct, and you have asphalt going in. We are probably going to fast-pace this project because we are so far behind on it, so we might have the IRSC building going on at the same time as the city building. I think that your concerns are legitimate that, having a lab close by and someone that can respond instantly, as you are probably going to have several subs calling for inspections at the same time, is where I am coming from. It may not be a very good plan ahead of time like you would do in a road project. I think your concerns are legitimate. Not that I'm an expert...

Laney: I guess that I am just taking it for granted that, Russell, you live local?

Russell: Yes.

Laney: I was just taking that for granted. I guess these types of projects do benefit quite a bit from having a real local presence. Whereas maybe a design project is not quite as bad if the group is out of Orlando or Ft. Lauderdale or something like that.

Jim: Particularly with their testing. Some of the testing and some of the smaller tests that need to get turned around quickly, they can do them locally. If you have to take samples down to West Palm, you have travel time, turnaround time.

Laney: I like some of the things that Nodarse said about keeping the same people on the job and building a relationship to the team and things like that. Again, is that all just talk or is it really what they do? I don't know, I've never worked with them before. I like those concepts. We have had a lot of out-of-town inspectors and sometimes they show up at 10 o'clock and leave at 2 o'clock and the contractors are working 7:30 – 3:30.

Cheryl: You have buildings involved and a lot of issues in Utilities...

Laney: My thoughts, to cut to the chase, were similar, since we did the scoring. In my opinion, I think they are all capable and all could probably do the job but I'm still comfortable with keeping my ranking or scoring as it was. I didn't hear anything that changed my opinion a whole lot. I was a little disappointed that Ardaman didn't show up but I don't think for a minute that they are not going to show up on the job but I did think that it could have been somebody on the team here and that's kind of what I said about Russell showing up. They could have sent their inspector here even if the big shot guys couldn't be here. I don't think that it's going to change anything. That was just a little disheartening.

Jim: What the schedule for the project?

Cheryl: Construction time?

Jim: We are going to bid it now, again, so it will be on the street for what, 30 days?

Cheryl: 30 days. It was put out on the street on Tuesday.

Jim: It was posted? Wow?

Cheryl: Yes, it was posted.

Jim: So it's out on the street now and 30 days...so end of April. We'll have a contract by May and get started by June. We're going to go through rainy season...all right.

Cheryl: The construction time is listed as 365 days, to let you know. I do think that the actual building components won't be that long. It's my understanding that we don't need the structural for the IRSC, only for the city building.

Jim: IRSC has to go up first. I don't see a need to change my ranking either. I would knock the number 2 down and push the number 3 up, but the number 1 scored relatively high. Everybody qualified. I know on my rankings they all qualified similarly, so I would leave number 1 where it is and recommend Ardaman.

Cheryl: So the committee's decision is that we rank Ardaman #1 and begin negotiations with and #2 will be Nutting.

Jim: I would go with Nutting as #2

Cheryl: And #3 is Nodarse. Okay, thank you very much.

Evaluation Committee Meeting Minutes
20110042 – CEI Threshold & Construction Materials Testing for Ravenswood
March 16, 2011

Good morning ladies and gentlemen, this is the Evaluation Committee Meeting for 20110042 for the CEI Threshold & Construction Materials Testing for Ravenswood. We have distributed individual score sheets that the committee has completed. For the record, we will introduce ourselves. I am Cheryl Shanaberger, Deputy Director of Office of Management & Budget and we also have a new employee and I will let Lisa introduce herself. Lisa Marie Lawrence, Procurement Specialist for the Office of Management & Budget, Jim Angstadt, Engineering Department, Laney Southerly of the Utilities Department.

Cheryl: As you can see, you have the individual score sheets. I did not have time to rank them, but I think that you can see there are only 5 that need to be ranked and the individual scores are pretty close. Now it's up to the committee if you want to keep these scores or if you want to review them or if there are any items you want to discuss in the scoring that you didn't understand?

Jim: Going down the list of items, I guess it wasn't exactly clear on the Lunsford thing how to score. I just gave everyone a 5 if they said yes on their proposals. The other item was the p-card payment. There was no direction to say that if they accept it, how to score them. So with past experience, if they didn't accept that card, I scored them with a zero and anyone who said yes, I scored them with a 5. I think in the future, you may need to give a little more direction.

Laney: I did 5's and 4's because it didn't mean as much to me.

Jim: On the others, based on their experience of threshold, everyone seemed to have somebody who had experience; same with the material testing. That's kind of how I ran through it.

Cheryl: In the future, with those types of things, just going through the p-card, there shouldn't be a wait; either they have it or they don't. So we should say they get 5 points or nothing. I appreciate that suggestion, I didn't think about that. Thank you for bringing that up. Like I said, this is our first one experimenting with that. There are two things that I need to say that I didn't say on the record and that is that this is being recorded and these minutes will be typed up and become part of the permanent record and I am also passing around a sign-in sheet.

Laney: I noticed maybe doing a theory thing of how we did our scoring. I took mine, since there just happened to be five applicants and between 1-5 essentially, I tried to rank all my five in the first three items where I thought the best group got 5, the next 4-3-2-1 on down the line. I don't think Jim took the same approach. I don't know if that's going to change our scores at all or if there is a right way or a wrong way. I know that's just the way I did it in the hopes that if everyone got 5's and 4's that we'd end up with a great big tie. They are all very similar in capabilities and I think they are all capable of doing a good job for us. Just so you know, if you look at the scores, that's my mine look so much different from yours. I came from a different philosophy. Just so you know that's how I did it.

Jim: That's why we do it via committee. I would say that we pick the top three and interview them. I don't see a reason to change scores and argue what you looked at and what you didn't.

Cheryl: So you are willing to leave their scores as is and the top three then would be: Ardaman, Nodarse and Anderson.

Jim: No, 154 – Ardaman, 148 – Nodarse and 136 – Nutting.

Laney: I have a question, it's probably not a big deal, but they did not sign their proposal and that was in the directions.

Cheryl: I think they did sign it but when I downloaded it, because it was a pdf file, the signature didn't show. I would not have given it to you if there was a problem.

Laney: Others were pdfs and were signed.

Cheryl: It was the way they loaded it. If you go to Demand Star, you will see that it is signed. I should have let you know that; I apologize.

Laney: I was actually thinking that they didn't follow directions.

Jim: Cheryl, earlier we picked the top three, do we need to pick three or can we pick two?

Cheryl: You have to pick at least three or more than three.

Jim: We have to pick at least three and have a Q&A with them?

Cheryl: That is correct. The statute never explained what happens if you only had two, but it says at least three must be selected and short-listed.

Laney: Then we have to have another meeting to discuss this?

Cheryl: Yes, you have to have another meeting and it is scheduled for Friday morning at 9:00 AM.

Jim: Is there a time limit for each of them?

Cheryl: I am going to give them three minutes and then you can do your Question & Answer session, asking them anything that you'd like.

Jim: Is three minutes sufficient to speak about the project?

Cheryl: Yes. It has worked well, even with the Clinic. If the committee would like to give them longer you can. The Q&A period can be as long as you want. If you want them to have five minutes, we can; usually three minutes work. It is at the committee's discretion.

Jim: Are we allowed to call the City Bldg. Dept. to discuss what questions they may want to ask to bring up?

Cheryl: Yes you can, although they are out, on vacation.

Jim: I would vote then to pick the top three for Q&A.

Cheryl: You might send me an email and I'll find out, if you have specific questions that you want to address.

Jim: I need to give a little thought to some of the questions that I want to ask.

Cheryl: Does the committee then both agree to pick the top three: Ardaman, Nodarse and Nutting and have interviews? Or would you like to interview one?

Laney: I don't want to hear the end of it; I don't want to interview three and know that two more is going to hurt a whole lot.

Jim: Both of us scored Ardaman high. We had 4's and I think Notification for both of us was on the low end.

Cheryl: Based on Staff experience and their threshold testing and in their construction material testing, they must have had a lot of experience there. The ones you scored low must have not had a lot of experience there which was Andersen, Dunkelberger and Nodarse.

Jim: I thought the note about Nodarse was that they were asked to list all of the people on the job and they didn't list the threshold people, they put them on the 2nd page of people. I didn't like that. It still showed that they had experience but they didn't list them as the staff on the job; that's why I hit them lower.

Cheryl: Nutting is high on the threshold and low on the material testing. I would think that construction material testing is going to be needed quite a bit on this job, right? More so than the threshold?

Jim: It's a combination of both. From what I read that needs done, the threshold is important as well as the construction testing throughout the course of the job. They are building on a site and also the building. They are both critical.

Cheryl: Do you want to select one, two and three? Or do you want to have all of them?

Jim: You don't want to have all of them?

Laney: It's very unlikely that I will change my opinion based on the Q&As.

Jim: Part of the point of the committee here is to pick three. If you want to pick five, you would have all five come in. I would still say go with the top three.

Cheryl: You are going to have to cut at some point.

Jim: We have to pick at least three. If we didn't, I'd say the top two, only because the scores are that good. Then there's a major break in the scores between the top two and the third. They start to drop off after that.

Cheryl: The committee has decided to keep their individual scores to be their group scores and we will hear Q&A from the top three firms: Ardaman & Associates, Nodarse & Associates and Nutting Engineers. The committee did mention that maybe they would like some more questions. I do think that we could delay this. Would you like to delay the Q&A?

Jim: I think we can still go Friday and keep to the schedule. We just need to come up with some questions.

Cheryl: Thank you all very much.

Meeting was adjourned.

Scores

		JA		LS				TOTAL	Rank
ndersen Andre Consulting Eng Inc									
Criterion	WTG	Points	Total	Points	Total	Points	Total		
Staff Threshold	8	4	32	1	8		0		
Staff Construction Material Testing	8	4	32	3	24		0		
Notification for Project	2	5	10	5	10		0		
Jessica Lunsford	1	5	5	5	5		0		
P-Card Payment	1	0	0	4	4		0		
Total			79		51		0	130	
Ranking									
Ardaman & Associates Inc.									
Criterion	WTG	Points	Total	Points	Total	Points	Total		
Staff Threshold	8	4	32	4	32		0		
Staff Construction Material Testing	8	4	32	4	32		0		
Notification for Project	2	2	4	1	2		0		
Jessica Lunsford	1	5	5	5	5		0		
P-Card Payment	1	5	5	5	5		0		
Total			78		76		0	154	
Ranking									
Dunkelberger Engineering									
Criterion	WTG	Points	Total	Points	Total	Points	Total		
Staff Threshold	8	4	32	2	16		0		
Staff Construction Material Testing	8	4	32	2	16		0		
Notification for Project	2	4	8	4	8		0		
Jessica Lunsford	1	5	5	5	5		0		
P-Card Payment	1	0	0	4	4		0		
Total			77		49		0	126	
Ranking									
Nodarse & Associates Inc.									
Criterion	WTG	Points	Total	Points	Total	Points	Total		
Staff Threshold	8	3	24	3	24		0		
Staff Construction Material Testing	8	4	32	5	40		0		
Notification for Project	2	2	4	2	4		0		
Jessica Lunsford	1	5	5	5	5		0		
P-Card Payment	1	5	5	5	5		0		
Total			70		78		0	148	
Ranking									
Nutting Engineers of Florida Inc.									
Criterion	WTG	Points	Total	Points	Total	Points	Total		
Staff Threshold	8	4	32	5	40		0		
Staff Construction Material Testing	8	3	24	1	8		0		
Notification for Project	2	3	6	3	6		0		
Jessica Lunsford	1	5	5	5	5		0		
P-Card Payment	1	5	5	5	5		0		
Total			72		64		0	136	
Ranking									

Scores

	JA		LS				TOTAL	Rank
ndersen Andre Consulting Eng Inc								
Ardaman & Associates Inc.								
Dunkelberger Engineering								
Nodarse & Associates Inc.								
Nutting Engineers of Florida Inc.								
Committee selected the 3 firms for Q & A on 3/18/11 @ 9 AM.								
Ardaman & Associates Inc., Nodarse & Associates Inc. ,								
Nutting Engineers of Florida Inc.								

RFP 20110042 Threshold Construction Ravenswood
Group Score

3/16/@ 10

		JA		LS				TOTAL	Rank
Andersen Andre Consulting Eng Inc									
Criterion	WTG	Points	Total	Points	Total	Points	Total		
Staff Threshold	8	4	32	1	8		0		
Staff Construction Material Testing	8	4	32	3	24		0		
Notification for Project	2	5	10	5	10		0		
Jessica Lunsford	1	5	5	5	5		0		
P-Card Payment	1	0	0	4	4		0		
Total			79		51		0	130	
Ranking									
Ardaman & Associates Inc.									
Criterion	WTG	Points	Total	Points	Total	Points	Total		
Staff Threshold	8	4	32	4	32		0		
Staff Construction Material Testing	8	4	32	4	32		0		
Notification for Project	2	2	4	1	2		0		
Jessica Lunsford	1	5	5	5	5		0		
P-Card Payment	1	5	5	5	5		0		
Total			78		76		0	154	
Ranking									
Dunkelberger Engineering									
Criterion	WTG	Points	Total	Points	Total	Points	Total		
Staff Threshold	8	4	32	2	16		0		
Staff Construction Material Testing	8	4	32	2	16		0		
Notification for Project	2	4	8	4	8		0		
Jessica Lunsford	1	5	5	5	5		0		
P-Card Payment	1	0	0	4	4		0		
Total			77		49		0	126	
Ranking									
Nodarse & Associates Inc.									
Criterion	WTG	Points	Total	Points	Total	Points	Total		
Staff Threshold	8	3	24	3	24		0		
Staff Construction Material Testing	8	4	32	5	40		0		
Notification for Project	2	2	4	2	4		0		
Jessica Lunsford	1	5	5	5	5		0		
P-Card Payment	1	5	5	5	5		0		
Total			70		78		0	148	
Ranking									
Nutting Engineers of Florida Inc.									
Criterion	WTG	Points	Total	Points	Total	Points	Total		
Staff Threshold	8	4	32	5	40		0		
Staff Construction Material Testing	8	3	24	1	8		0		
Notification for Project	2	3	6	3	6		0		
Jessica Lunsford	1	5	5	5	5		0		
P-Card Payment	1	5	5	5	5		0		
Total			72		64		0	136	
Ranking									

		JA		LS				TOTAL	Rank
Andersen Andre Consulting Eng Inc	130								
Ardaman & Associates Inc.	154								
Dunkelberger Engineering	126								
Nodarse & Associates Inc.	148								
Nutting Engineers of Florida Inc.	136								
Committee selected the 3 firms for Q & A on 3/18/11 @ 9 AM.									
Ardaman & Associates Inc., Nodarse & Associates Inc. ,									
Nutting Engineers of Florida Inc.									

City of Port St. Lucie, Florida
PARTICIPATION AGREEMENT
Request for Proposal #20110042
Evaluation Committee Members / Participants

I, JAMES E. ANGSTADT, an individual official, employee, consultant, or subcontractor of or to the CITY OF PORT ST. LUCIE, FLORIDA hereby consent to the terms in this Agreement in consideration of my serving as an evaluation committee member (scoring or non-scoring) and being provided certain information related to the Threshold & Construction Material Testing for the Ravenswood project during the evaluation process and before contract award.

<small>Initials</small> JEA	Applicability of the Florida Sunshine Law
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I acknowledge I have been informed and am aware the State of Florida Sunshine Law applies to meetings of the evaluation committee where decisions for recommendations to the City Commission apply. I further recognize that discussions between committee members outside of public Evaluation Committee meetings is prohibited and in violation of the State of Florida Sunshine Law. All questions by evaluation committee members shall be directed to the Contract Administrator (OMB).

<small>Initials</small> JEA	Restricted Communications / Cone of Silence
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I acknowledge that to insure the proper and fair evaluation of a submittal, the City of Port St. Lucie prohibits any communication between any City employee, representative or official other than the Contract Administrator (OMB) prior to the time of award by City Council has been made. Communication between Respondent and the City will be initiated and coordinated by the Contract Administrator (OMB) in order to obtain information or clarification needed to develop a proper and accurate evaluation of the proposal.

Communication related to this RFP is further restricted with any entity outside the City of Port St. Lucie. Including, but not limited to, sub-contractors of prime respondents, companies in the industry, other agencies or utility entities, etc . . .

<small>Initials</small> JEA	Release or Distribution of Information and/or Material
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Evaluation committee members have been provided vendor responses either in hard copy or electronic format. This information, hard copy or electronic, is NOT to be reproduced or distributed under any circumstance. Some information within the proposals may be proprietary and/or confidential. Release of any information will be coordinated by OMB only.

Initials JEA	Non-Collusion
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I acknowledge the following with regards to non-collusion in the evaluation process and my scoring:

1. The scores assigned in my evaluation have been arrived at independently and without consultation, communication or agreement with any other Evaluator other than those discussions taking place in a meeting of the Evaluation Committee meeting arranged by OMB.
2. That my scoring of each proposal has not been disclosed to any other Evaluator or person, and they will not be disclosed to other Evaluator except by the OMB during a meeting of the Evaluation Committee.
3. No attempt has been made or will be made to coerce or affect the scoring of any Evaluator.

Signature: James E. Angstadt
Printed: JAMES E. ANGSTADT
Date: 3/18/11

City of Port St. Lucie, Florida
PARTICIPATION AGREEMENT
Request for Proposal #20110042
Evaluation Committee Members / Participants

I, Laney Southerly, an individual official, employee, consultant, or subcontractor of or to the CITY OF PORT ST. LUCIE, FLORIDA hereby consent to the terms in this Agreement in consideration of my serving as an evaluation committee member (scoring or non-scoring) and being provided certain information related to the Threshold & Construction Material Testing for the Ravenswood project during the evaluation process and before contract award.

Initials	LCS	Applicability of the Florida Sunshine Law
-----------------	------------	--

I acknowledge I have been informed and am aware the State of Florida Sunshine Law applies to meetings of the evaluation committee where decisions for recommendations to the City Commission apply. I further recognize that discussions between committee members outside of public Evaluation Committee meetings is prohibited and in violation of the State of Florida Sunshine Law. All questions by evaluation committee members shall be directed to the Contract Administrator (OMB).

Initials	LCS	Restricted Communications / Cone of Silence
-----------------	------------	--

I acknowledge that to insure the proper and fair evaluation of a submittal, the City of Port St. Lucie prohibits any communication between any City employee, representative or official other than the Contract Administrator (OMB) prior to the time of award by City Council has been made. Communication between Respondent and the City will be initiated and coordinated by the Contract Administrator (OMB) in order to obtain information or clarification needed to develop a proper and accurate evaluation of the proposal.

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Initials	LCS	Release or Distribution of Information and/or Material
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Initials

LCS

Non-Collusion

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2. That my scoring of each proposal has not been disclosed to any other Evaluator or person, and they will not be disclosed to other Evaluator except by the OMB during a meeting of the Evaluation Committee.
3. No attempt has been made or will be made to coerce or affect the scoring of any Evaluator.

Signature:



Digitally signed by Laney Southerly
DN: cn=Laney Southerly, o=City of Port
St Lucie, ou=Utility Systems Dept.,
email=lsoutherly@cityofpsl.com, c=US
Date: 2011.03.16 13:19:17 -0400

Printed:

Laney Southerly

Date:

3/16/2011

Presentation ATTENDANCE

RFP #20110042

Threshold & Construction material testing Ravenswood

March 18, 2011 @ 9:00:00 AM

	Name (Please PRINT Legibly)	Company Name Or Entity
1	Cheryl Shanaberger	City of PSL-OMB
2	JIM ANGSTADT	CITY OF PSL - ENG.
3	LANEY SOUTHERLY	City of PSL - Utilities
4	RUSSELL MORRIS	NUTTING ENGINEERS
5	JIM FLAHL))
6	DAN DUNHAM	NODARSE & ASSOC.
7	Rutu Nulkaon	Nodarse & Associates
8	HUGO E SOTO	Nodarse & Associates
9	JUAN LOPEZ	NODARSE & ASSOCIATES
10	JOHN POSTLETHWAITE	NODARSE & ASSOC.
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BID Evaluation ATTENDANCE

RFP #20110042

Threshold & Construction material testing Ravenswood

March 16, 2011 @ 10:00:00 AM

	Name (Please PRINT Legibly)	Company Name Or Entity
1	Cheryl Shanaberger	City of PSL-OMB
2	David Andre	Andersen Andre Consulting Engineers
3	JIM ANGSTADT	PSL ENGINEERING
4	LANEY SOUTHERLY	PSL UTILITY SYSTEMS
5	Msia Marie Lawrence	PSL - OMB
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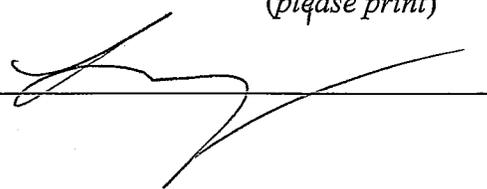
Respondent: *Andersen Andre*

A	B	C	D
Criterion	Weight Factor	Maximum Points Independent Review	Maximum Points Review with Panel
A. Assigned Staff Threshold #3	8	0 (1) 2 3 4 5	0 1 2 3 4 5
Comments:			
B. Assigned Staff Construction Mat Testing #3	8	0 1 2 (3) 4 5	0 1 2 3 4 5
Comments:			
C. Notification Required to be on Project #5	2	0 1 2 3 4 (5)	0 1 2 3 4 5
Comments:			
D. Meet Jessica Lunsford #4 <i>Yes</i>	1	0 1 2 3 4 (5)	0 1 2 3 4 5
Comments:			
E. Accept P-Card #6 <i>No</i>	1	0 1 2 3 (4) 5	0 1 2 3 4 5
Comments:			

Instructions to Evaluator: Complete a separate evaluation form for each proposal reviewed. Each criterion must be assigned a score unless you are instructed otherwise on the form. Make additional notes in the "Comments" section for reference and discussion during meetings of the full evaluation panel.

The point values entered above reflect my best independent judgment of the merits of the identified respondent's proposal.

Committee Member: *Laney Southerly* (please print) Dept.: *Util.*

Signature:  Date: *3/16/11*

Respondent: Ardaman

A	B	C	D
Criterion	Weight Factor	Maximum Points Independent Review	Maximum Points Review with Panel
A. Assigned Staff Threshold #3	8	0 1 2 3 (4) 5	0 1 2 3 4 5
Comments:			
B. Assigned Staff Construction Mat Testing #3	8	0 1 2 3 (4) 5	0 1 2 3 4 5
Comments:			
C. Notification Required to be on Project #5	2	0 (1) 2 3 4 5	0 1 2 3 4 5
Comments:			
D. Meet Jessica Lunsford #4 <u>Yes</u>	1	0 1 2 3 4 (5)	0 1 2 3 4 5
Comments:			
E. Accept P-Card #6 <u>Yes</u>	1	0 1 2 3 4 (5)	0 1 2 3 4 5
Comments:			

Instructions to Evaluator: Complete a separate evaluation form for each proposal reviewed. Each criterion must be assigned a score unless you are instructed otherwise on the form. Make additional notes in the "Comments" section for reference and discussion during meetings of the full evaluation panel.

The point values entered above reflect my best independent judgment of the merits of the identified respondent's proposal.

Committee Member: Laney Southerly Dept.: UHL
(please print)

Signature: [Signature] Date: 3/16/11

Respondent: Dunkelberger

A	B	C	D
Criterion	Weight Factor	Maximum Points Independent Review	Maximum Points Review with Panel
A. Assigned Staff Threshold #3	8	0 1 <u>(2)</u> 3 4 5	0 1 2 3 4 5
Comments:			
B. Assigned Staff Construction Mat Testing #3	8	0 1 <u>(2)</u> 3 4 5	0 1 2 3 4 5
Comments:			
C. Notification Required to be on Project #5	2	0 1 2 3 <u>(4)</u> 5	0 1 2 3 4 5
Comments:			
D. Meet Jessica Lunsford #4 <u>Yes</u>	1	0 1 2 3 4 <u>(5)</u>	0 1 2 3 4 5
Comments:			
E. Accept P-Card #6 <u>No</u>	1	0 1 2 3 <u>(4)</u> 5	0 1 2 3 4 5
Comments:			

Instructions to Evaluator: Complete a separate evaluation form for each proposal reviewed. Each criterion must be assigned a score unless you are instructed otherwise on the form. Make additional notes in the "Comments" section for reference and discussion during meetings of the full evaluation panel.

The point values entered above reflect my best independent judgment of the merits of the identified respondent's proposal.

Committee Member: Laney Southerly Dept.: U/I
(please print)

Signature: [Signature] Date: 3/16/11

Respondent: *Nodarse*

A	B	C	D
Criterion	Weight Factor	Maximum Points Independent Review	Maximum Points Review with Panel
A. Assigned Staff Threshold #3	8	0 1 2 <u>(3)</u> 4 5	0 1 2 3 4 5
Comments:			
B. Assigned Staff Construction Mat Testing #3	8	0 1 2 3 4 <u>(5)</u>	0 1 2 3 4 5
Comments:			
C. Notification Required to be on Project #5	2	0 1 <u>(2)</u> 3 4 5	0 1 2 3 4 5
Comments:			
D. Meet Jessica Lunsford #4 <i>Yes</i>	1	0 1 2 3 4 <u>(5)</u>	0 1 2 3 4 5
Comments:			
E. Accept P-Card #6 <i>Yes</i>	1	0 1 2 3 4 <u>(5)</u>	0 1 2 3 4 5
Comments:			

Instructions to Evaluator: Complete a separate evaluation form for each proposal reviewed. Each criterion must be assigned a score unless you are instructed otherwise on the form. Make additional notes in the "Comments" section for reference and discussion during meetings of the full evaluation panel.

The point values entered above reflect my best independent judgment of the merits of the identified respondent's proposal.

Committee Member: *Laney Southerly* Dept.: *Util.*
(please print)

Signature:  Date: *3/16/11*

Respondent: Nutting

A	B	C	D
Criterion	Weight Factor	Maximum Points Independent Review	Maximum Points Review with Panel
A. Assigned Staff Threshold #3	8	0 1 2 3 4 (5)	0 1 2 3 4 5
Comments:			
B. Assigned Staff Construction Mat Testing #3	8	0 (1) 2 3 4 5	0 1 2 3 4 5
Comments:			
C. Notification Required to be on Project #5	2	0 1 2 (3) 4 5	0 1 2 3 4 5
Comments:			
D. Meet Jessica Lunsford #4 <u>Yes</u>	1	0 1 2 3 4 (5)	0 1 2 3 4 5
Comments:			
E. Accept P-Card #6 <u>Yes</u>	1	0 1 2 3 4 (5)	0 1 2 3 4 5
Comments:			

Instructions to Evaluator: Complete a separate evaluation form for each proposal reviewed. Each criterion must be assigned a score unless you are instructed otherwise on the form. Make additional notes in the "Comments" section for reference and discussion during meetings of the full evaluation panel.

The point values entered above reflect my best independent judgment of the merits of the identified respondent's proposal.

Committee Member: Laney Southerly Dept.: Util
(please print)

Signature: [Signature] Date: 3/16/11

Respondent: ANDERSON ANDRE CONSULTING ENGINEERS

A	B	C	D
Criterion	Weight Factor	Maximum Points Independent Review	Maximum Points Review with Panel
A. Assigned Staff Threshold #3	8	0 1 2 3 <u>4</u> 5	0 1 2 3 4 5
Comments:			
B. Assigned Staff Construction Mat Testing #3	8	0 1 2 3 <u>4</u> 5	0 1 2 3 4 5
Comments:			
C. Notification Required to be on Project #5	2	0 1 2 3 4 <u>5</u>	0 1 2 3 4 5
Comments:			
D. Meet Jessica Lunsford #4	1	0 1 2 3 4 <u>5</u>	0 1 2 3 4 5
Comments:			
E. Accept P-Card #6	1	<u>0</u> 1 2 3 4 5	0 1 2 3 4 5
Comments:			

Instructions to Evaluator: Complete a separate evaluation form for each proposal reviewed. Each criterion must be assigned a score unless you are instructed otherwise on the form. Make additional notes in the "Comments" section for reference and discussion during meetings of the full evaluation panel.

The point values entered above reflect my best independent judgment of the merits of the identified respondent's proposal.

Committee Member: JAMES E. ANGSTADT Dept.: ENGINEERING
(please print)

Signature: James E. Angstadt Date: 3/15/11

Respondent: ARDAMON & ASSOCIATES, INC.

A	B	C	D
Criterion	Weight Factor	Maximum Points Independent Review	Maximum Points Review with Panel
A. Assigned Staff Threshold #3	8	0 1 2 3 ④5	0 1 2 3 4 5
Comments:			
B. Assigned Staff Construction Mat Testing #3	8	0 1 2 3 ④5	0 1 2 3 4 5
Comments:			
C. Notification Required to be on Project #5	2	0 1 ②3 4 5	0 1 2 3 4 5
Comments:			
D. Meet Jessica Lunsford #4	1	0 1 2 3 4 ⑤	0 1 2 3 4 5
Comments:			
E. Accept P-Card #6	1	0 1 2 3 4 ⑤	0 1 2 3 4 5
Comments:			

Instructions to Evaluator: Complete a separate evaluation form for each proposal reviewed. Each criterion must be assigned a score unless you are instructed otherwise on the form. Make additional notes in the "Comments" section for reference and discussion during meetings of the full evaluation panel.

The point values entered above reflect my best independent judgment of the merits of the identified respondent's proposal.

Committee Member: JAMES E. ANGSTADT Dept.: ENGINEERING
(please print)

Signature: James E. Angstadt Date: 3/15/11

Respondent: *DUNKELBERGER ENGINEERING & TESTING*

A	B	C	D
Criterion	Weight Factor	Maximum Points Independent Review	Maximum Points Review with Panel
A. Assigned Staff Threshold #3	8	0 1 2 3 <u>4</u> 5	0 1 2 3 4 5
Comments:			
B. Assigned Staff Construction Mat Testing #3	8	0 1 2 3 <u>4</u> 5	0 1 2 3 4 5
Comments:			
C. Notification Required to be on Project #5	2	0 1 2 3 <u>4</u> 5	0 1 2 3 4 5
Comments:			
D. Meet Jessica Lunsford #4	1	0 1 2 3 4 <u>5</u>	0 1 2 3 4 5
Comments:			
E. Accept P-Card #6	1	<u>0</u> 1 2 3 4 5	0 1 2 3 4 5
Comments:			

Instructions to Evaluator: Complete a separate evaluation form for each proposal reviewed. Each criterion must be assigned a score unless you are instructed otherwise on the form. Make additional notes in the "Comments" section for reference and discussion during meetings of the full evaluation panel.

The point values entered above reflect my best independent judgment of the merits of the identified respondent's proposal.

Committee Member: *JAMES E. ANGSTADT* Dept.: *ENGINEERING*
(please print)

Signature: *James E. Angstadt* Date: *3/15/11*

Respondent: NODARSE & ASSOCIATES, INC.

A	B	C	D
Criterion	Weight Factor	Maximum Points Independent Review	Maximum Points Review with Panel
A. Assigned Staff Threshold #3	8	0 1 2 <u>3</u> 4 5	0 1 2 3 4 5
Comments:			
B. Assigned Staff Construction Mat Testing #3	8	0 1 2 3 <u>4</u> 5	0 1 2 3 4 5
Comments:			
C. Notification Required to be on Project #5	2	0 1 <u>2</u> 3 4 5	0 1 2 3 4 5
Comments:			
D. Meet Jessica Lunsford #4	1	0 1 2 3 4 <u>5</u>	0 1 2 3 4 5
Comments:			
E. Accept P-Card #6	1	0 1 2 3 4 <u>5</u>	0 1 2 3 4 5
Comments:			

Instructions to Evaluator: Complete a separate evaluation form for each proposal reviewed. Each criterion must be assigned a score unless you are instructed otherwise on the form. Make additional notes in the "Comments" section for reference and discussion during meetings of the full evaluation panel.

The point values entered above reflect my best independent judgment of the merits of the identified respondent's proposal.

Committee Member: JAMES E. ANGSTADT Dept.: ENGINEERING
(please print)

Signature: James E. Angstadt Date: 3/15/11

Respondent: *NUTTING ENGINEERS OF FLORIDA*

A	B	C	D
Criterion	Weight Factor	Maximum Points Independent Review	Maximum Points Review with Panel
A. Assigned Staff Threshold #3	8	0 1 2 3 4 5	0 1 2 3 4 5
Comments:			
B. Assigned Staff Construction Mat Testing #3	8	0 1 2 3 4 5	0 1 2 3 4 5
Comments:			
C. Notification Required to be on Project #5	2	0 1 2 3 4 5	0 1 2 3 4 5
Comments:			
D. Meet Jessica Lunsford #4	1	0 1 2 3 4 5	0 1 2 3 4 5
Comments:			
E. Accept P-Card #6	1	0 1 2 3 4 5	0 1 2 3 4 5
Comments:			

Instructions to Evaluator: Complete a separate evaluation form for each proposal reviewed. Each criterion must be assigned a score unless you are instructed otherwise on the form. Make additional notes in the "Comments" section for reference and discussion during meetings of the full evaluation panel.

The point values entered above reflect my best independent judgment of the merits of the identified respondent's proposal.

Committee Member: JAMES E. ANGSTADT Dept.: ENGINEERING
(please print)

Signature: *James E. Angstadt* Date: 3/15/11

User: Shanaberger, CPPO, Cheryl

Organization: City of Port St. Lucie - Office of Management and Budget

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Bid Details

Bid Information

EDIT

Agency City of Port St. Lucie - Office of Management and Budget

Bid Type Sealed Electronic Bid

Bid Number EBID-20110042-0-2011/CS

Fiscal Year 2011

Bid Writer Cheryl Shanaberger, CPPO

Bid Name Threshold and Construction Inspection Services for Ravenswood Project

Bid Status Under Evaluation

Bid Status Text This is for the prequalified firms under Master Contract #20070116 only.

Award To

Due Date/Time 3/14/2011 3:00 PM Eastern

Broadcast Date 3/4/2011

Bid Bond

Project Estimated Budget

Plan (blueprint) Distribution Options None

Distribution Method Download and Mail

Distributed By Onvia DemandStar

Distribution Notes None

Scope of Work

The Ravenswood Community Center is located on Ravenswood Lane about one block south of Prima Vista Boulevard. The project includes a proposed Community Center/Gymnasium that will be a one-story slab-on-grade structure with a building footprint of approximately 24,771 square feet (S.F.) and a proposed IRSC building that will be a one-story slab-on-grade structure with a building footprint of approximately 10,980 square feet (S.F.). The Community Center/Gymnasium buildings will have concrete masonry unit (CMU) walls and structural steel framing supporting a concrete roof system. The IRSC building will have concrete masonry unit (CMU) walls and structural steel framing supporting a light steel framed roof and plywood sheathing system.

The project will also involve site work that includes site clearing and site grading to prepare the proposed building and pavement areas, installation of underground utilities and drainage system, and concrete pavement construction.

The construction materials testing services shall include field and laboratory testing of soils, concrete, and masonry components. The threshold inspection services shall be provided in accordance with the approved Threshold Inspection Plan and Florida State Statutes.

E-Bidding Yes

E-Bidding

EDIT

View Supplier Info on Tabulation Sheet prior to bid opening Yes

Required Documents 1. Questionnaire

Legal Ad

VIEW

Please select either the View or Edit button to manage legal ad.

Pre-Bid Conference

Publications

No Publications Data Found

Documents

EDIT

Bid Package Threshold and Construction Inspection Services for Ravenswood Project (Complete)
Award Evaluation Committee Scores (4 Pages, Complete)
Notice of Interviews (1 Page, Complete)

Commodity Codes

ARC-907-42 - Geotechnical - Soils

Statistics

Planholders There are 8 planholders for this bid
Broadcast List 5 suppliers have been notified
Supplemental Suppliers 0 Supplemental Suppliers
Filtered Yes
Post-Bid Viewers 1 viewer(s)

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QUESTIONNAIRE
E-Bid #20110042

Threshold and Construction Materials Testing for the Ravenswood Community Center

It is understood and agreed that the following information is to be used by the City of Port St. Lucie to determine the qualifications of personnel and firm as presented in this document. The Proposer waives any claim against the City that might arise with respect to any decision concerning the qualifications of the Proposer or the personnel of the Proposer.

The undersigned attests to the truth and accuracy of all statements made on this questionnaire. Also, the undersigned hereby authorizes any public official, Consultant, Surety, bank material or equipment manufacturer or distributor, or any person, firm or corporation to furnish the City of Port St. Lucie any Pertinent information requested by the City deemed necessary to vary the information on this questionnaire.

Dated this 14 day of March, 2011

Andersen Andre Consulting Engineers, Inc. (AACE)

Name of Organization / Proposer

(This is a word document please add space as needed.)

1. Firm's office address, telephone, fax number, e-mail address and contact person for this project

573 SW Biltmore Street,
Port St. Lucie, Florida 34983
Ph. (772) 807-9191 Fax (772) 807-9192
Email: DAndre@aaceinc.com

2. Number of full time personnel that will be assigned to this project:

Name	Title	EST hours
David P. Andre, P.E.*	President/Principal Engineer	1/week
Peter G. Andersen, P.E.*	Vice President/Principal Engineer	2/week
Brian Smith*	Senior Field Technician	6/week
Ralph Lewis*	Laboratory Mgr./Field Technician	4/week
David Hustad, P.E.	Threshold/Structural Engineer	2/week
Eric Hernandez	Special Inspector	8/week

*We note that AACE is the Geotechnical Engineer of record for the Ravenswood Community Center project in 2009. Peter Andersen, P.E. was AACE's Project Manager and coordinated the performance of 37 SPT borings, auger borings and SFWMD field exfiltration tests, the majority of which were performed by Ralph Lewis and Brian Smith. Our engineering staff consulted with the design engineer (Culpepper & Terpening) regarding pavement design alternatives as well as the suitability of on-site soils for structural support and permeability. Further, we specifically included report language that addressed the presence of potentially-problematic shallow clayey soils that will be encountered during construction (stormdrain and utility installations and footing excavations). The purpose of including this language was to have it provided to the selected earthwork/utility contractor to eliminate this soil condition from being an "unforeseen condition", thus protecting the City's interests relative to claims or change orders. AACE Engineers and field technicians have unsurpassed and important knowledge of the soils at the Ravenswood site. A thorough description of the Geotechnical Engineering services that we provided for the Ravenswood site is attached hereto.

AACE also maintains a continuing services contract with the Indian River State College (IRSC) to provide Geotechnical Engineering and Construction Materials Testing. Our staff has provided services similar to those being requested by the City for the Ravenswood project on the following IRSC projects:

- IRSC Public Safety Complex (\$150 Million educational and training facility)
- IRSC/FSU Medial Building (2-story structure)
- IRSC CIE Building (4-story bld. with extensive drainage/utility improvements)
- IRSC Indian River County Joint-Use Library
- IRSC Building 'A' Renovations (3-story structure)

For a complete assessment of the level of service that we provided on these projects, please contact Allen Bottorff, P.E. (Chief Engineer and Building Official: 772.462.7823) and/or Sean Donahue, P.E. (Engineer: 772.332.2924). To exemplify our experience with projects such as Ravenswood and to further expound on our history providing expert Geotechnical Engineering and Construction Materials Testing services on IRSC projects, we have included a brief description of the services provided by AACE on the IRSC Public Safety Complex (attached hereto).

Number of part time personnel that will be assigned to this project:

Name	Title	EST hours
N/A		

(This is a word document add lines as needed)

3. What is the experience of your staff with Threshold Inspection Services assigned to this project?

Name	Years of Exp	Type Testing
David Hustad, P.E.*	25+	Threshold/Building Inspections
Eric Hernandez*	14	Building Inspector

*David Hustad, P.E. and Eric Hernandez represent Hustad Structural Engineering, LLC, a subconsultant to AACE for this project. As can be seen in the table above, Mr. Hustad has over 25 years of experience performing structural design and threshold inspection services, including many educational projects. Résumés for Mr. Hustad and Mr. Hernandez are attached hereto.

What is the experience of your staff for Construction Materials Testing assigned to this project?

Name	Years of Exp	Type Testing
David P. Andre, P.E.	18	Construction Materials Testing, Geotechnical Consulting and Environmental Consulting
Peter G. Andersen, P.E.	13	Construction Materials Testing and Geotechnical Consulting
Brian Smith	16	Stripping/grubbing inspections, demucking, LBR and Proctor testing, soil density testing, concrete and masonry testing, fireproofing and insulation testing, bolt-tightness testing
Ralph Lewis	9	Stripping/grubbing inspections, demucking, LBR and Proctor testing, soil density testing, concrete and masonry testing, fireproofing and insulation testing, bolt-tightness testing

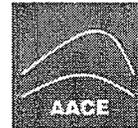
*Résumés for each of the above-listed individuals are attached hereto.

4. All employees that will be working on site for this project must meet the Jennifer Lunsford Act. Have the above named employees already met the Jessica Lunsford Requirements? Yes
5. Number of days notification required to be onsite for this project AACE is located 1 mile from the Ravenswood site, closer than any master-contracted geotechnical consultant. As such, we can have a representative on-site typically within minutes of being contacted by the City's representative.
6. Does your firm accept payment by Credit Card? No

ADDENDUM ACKNOWLEDGMENT - Proposer acknowledges that the following addenda have been received and are included in his/her proposal:

Addendum Number	Date Issued
N/A	

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Key Qualifications

David P. Andre has more than 18 years of experience in the Geotechnical Engineering, Materials Testing and Environmental Consulting field. David gained extensive and varied experience during his employment with an international Geotechnical and Environmental Consulting firm (Ardaman & Associates, Inc.), where he was Branch Manager for operations in the St. Lucie County office from 2000 to 2006. In addition to managing a staff of 19 engineers, environmental scientists, field and laboratory technicians and administrative personnel, David was responsible for all regional environmental and geotechnical engineering projects as well as construction materials testing services, and oversaw all office operations, including proposal preparation, report review (signing and sealing), invoicing and collections. David then co-founded Andersen Andre Consulting Engineers, Inc. (AAACE) in 2006.

Project Experience

David has served as Project Engineer for the development of recommendations for site preparation and foundation design for projects throughout Southeast Florida including numerous publicly and privately owned structures, bridges, utility installations, STAs and more. Throughout his career, including during periods of previous employment, he has served as senior geotechnical consultant on numerous roadways, utility installations governmental buildings and other projects, including the following:

- City of Port St. Lucie Master Contract for Geotechnical Engineering and Construction Materials Testing
David is AAACE's Contract Manager for this contract with the City of Port St. Lucie. As such, he routinely provides geotechnical engineering consulting services to numerous departments with the City, including Engineering, Utility Services and Public Works. Also, David is responsible for staffing all City projects with experienced and capable engineering and technical staff. Some CPSL projects that David has provided consulting services on include:
 - ▶ Ravenswood Community Center
 - ▶ Becker Road (Seg. 1&2)
 - ▶ Discovery Way (E/W)
 - ▶ Rangeline Water Main
 - ▶ EWIP Program
 - ▶ Misc. Sidewalks and ADA Ramps
 - ▶ Glades WWTP
 - ▶ Pub. Works Culver Replacement
 - ▶ Village Parkway
 - ▶ Community Blvd.
- ▶ Western Special Assessment District (S.A.D.) Lake Explorations, Port St. Lucie, Florida
AAACE was retained by the City of Port St. Lucie to perform subsurface explorations and laboratory testing of soil samples within eight future lakes within this area of western Port St. Lucie. The purpose of the explorations was to ascertain the nature of the future borrow soils and to comment on the soils' use during roadway construction (i.e., embankment, trench backfill, etc.). Numerous SPT borings were performed and extensive laboratory testing was conducted on hundreds of soil samples. Tests for "percent fines", moisture, organic content, plasticity, etc. enabled David to comment on the suitability of the soils relative to their desired use, and also on potential construction difficulties that may be associated with somewhat problematic soils.
- ▶ Glades WWTP Port St. Lucie, Florida
David was the Geotechnical Engineer of Record for construction materials testing services at this City of Port St. Lucie Utilities Department wastewater treatment plant from 2006 through 2008. David coordinates the performance of concrete testing, soil density testing, grout testing (used in the installation of auger-cast piles), Florida Bearing Value (FBV) and Limerock Bearing Ratio (LBR) testing.

- ▶ IRSC Public Safety Complex, Fort Pierce, Florida
David was AACE's Project Manager during the performance of a Subsurface Soil Exploration and Geotechnical Engineering Analysis of this IRSC complex located off of Kirby Loop Road in Fort Pierce. Our geotechnical services included dozens of SPT borings, auger borings and laboratory soil characterization testing (sieve analyses, Atterberg Limits, percent-fines, etc.). Site features include a crime lab, shooting range, several multi-story administration buildings and a 6-story and 4-story fire fighting training towers. Additionally, AACE performed inspection services and construction materials testing from March 2007 through August 2009. Services also provided by AACE include: bolt tightness, fireproofing thickness measurements, LBR testing as well as asphalt testing and compressive strength of concrete cylinder testing.
- City of Port St. Lucie Miscellaneous Sidewalk Construction Projects
David was the Project Manager for numerous sidewalk construction projects within the City of Port St. Lucie, including along Darwin Boulevard, Thornhill Drive, Westmoreland Boulevard and Morningside Boulevard. He coordinated the exploration of subgrade soils prior to sidewalk construction, after which time David assigned field technicians to perform in-place soil density testing of sidewalk subgrade, curb pad, roadway cuts and stormwater drainage pipe backfill. Significant testing of the compressive strength of concrete was also performed.
- Community Boulevard Lake Explorations (Borrow/Fill Study), St. Lucie County
David was the geotechnical Project Manager for subsurface explorations relative to the excavation of several lakes (ranging in size from 1 acre to 8 acres) along the proposed Community Boulevard alignment in Port St. Lucie. He coordinated the performance of 20+ SPT borings within the planned lakes to explore the suitability of the soil for use as roadway embankment. He also coordinated a comprehensive laboratory testing program of borrow soils, including LBRs, Atterberg Limits, percent-fines, Proctor testing, etc.

Education

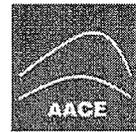
- Bachelor of Science, Environmental Engineering, University of Florida, 1993
- Post Graduate Geotechnical Engineering Courses, University of Central Florida, 1997

Professional Registrations

- Professional Engineer, State of Florida Registration No. 53969

Professional Affiliations

- Health and Safety Training for Hazardous Waste Activities, 40-Hour OSHA Certified Training Course
- 3-Day Hydrogeology Conference: Field Techniques to Florida's Groundwater Investigations; University of Florida's TREEO Center (1995)
- Member - Florida Engineering Society (1995 to Present)
 - Treasure Coast Chapter Young Engineer of the Year (2002)
 - Treasure Coast Chapter Engineer of the Year (2006)
 - Chapter Secretary (2002)
 - Chapter Vice President (2003-2004)
 - Chapter President (2005)
 - Chapter State Director (2008-Present)
 - Chapter Engineering Leadership Committee Chair (2008 to Present)
- Member - National Society of Professional Engineers (1995 to Present)
- American Society of Civil Engineers (1995 to Present)
- Member - Florida Institute of Consulting Engineers - FICE - (1998 to Present)
 - Membership Services Committee Member (2003 to 2005)
 - Professional Practices Committee Chairman (2005 to 2008)
- FICE/FES Inaugural LEADERSHIP Class (2003-2004)



Key Qualifications

Peter G. Andersen has more than 13 years of experience in the Geotechnical Engineering and Materials Testing field. Peter worked at an international Geotechnical and Environmental Consulting firm from 1997 through 2006 (Ardaman & Associates, Inc.) where he served as Project Engineer for the development of recommendations for site preparation and foundation design for projects throughout South Florida and outside of the United States including numerous low- and high-rise structures, bridges, piers, buried structures, transmission towers, silos, roadways, drainage structures, off-shore mooring facilities, seawalls, retaining walls, anchoring systems, excavation bracings, underpinning measures, dams and levees. From 2002 through 2006, he served as Senior Project Engineer and Assistant Branch Manager where in addition to the above listed responsibilities, he was in charge of planning and supervision of field and laboratory geotechnical exploration programs for both public and private sector clients. Currently, Peter serves as the Principal Geotechnical Engineer for Andersen Andre Consulting Engineers, Inc.

Project Experience

Aside from traditional geotechnical projects, Peter has worked on numerous roadway/bridge projects, performed quarry (ore) assessments, and worked on forensic structural investigations using destructive and non-destructive testing techniques. Additionally, Peter has performed structural inspections of reinforcing steel and prestressed structural members (single/double keyway decks, piles, etc.). Below are summaries of a few representative projects.

- Ravenswood Community Center Geotechnical Engineering Evaluation
Peter was AAACE's Project Manager for Geotechnical Engineering consulting services associated with the design of the Ravenswood Community Center. He coordinated the performance of 37 soil borings and field exfiltration tests for the purpose of evaluating the suitability of the soils relative to structural support, pavement compatibility and drainage. He consulted with the project civil engineer regarding pavement design and percolation. He also prepared a report with "protective" language designed to help reduce the potential for soils-related claims and change orders by clearly identifying problematic clay soils.
- Indian River State College (IRSC) Continuing Services Contract
Peter is the Contract Manager for this continuing services contract providing Geotechnical Engineering and Construction Materials Testing services to IRSC. Peter has coordinated subsurface explorations and materials testing efforts for numerous IRSC projects including: Public Safety Complex, CIE Building, FSU Medical Building, and more. Peter has continuous interaction with IRSC officials as well as the College's consultants and contractors.
- Eastern Watershed Improvement Project (EWIP), Port St. Lucie, Florida (Engineering Dept.)
Peter was AAACE's Project Manager relative to this project intended to relieve flooding in eastern Port St. Lucie. He coordinated subsurface soil explorations within 17 areas in eastern PSL and explored soil and groundwater conditions at each location. He also performed test pits relative to buried debris, coordinated clearing for drill rig access, installed piezometers to determine localized hydraulic gradients and sampled soil for the presence of heavy metals and other contaminants. Once AAACE field explorations were performed, Peter prepared a comprehensive geotechnical engineering evaluation of soils and groundwater conditions for use by the City and their drainage consultant.
- Rangeline Water Main Installation (Utility Services Dept.):
Peter was the Project Manager for Geotechnical Engineering services during the City's in-house design of the 26,000 l.f. water main project, from the Tradition Re-Use Plant to the Martin County Corrections Facility. As such, Peter had over 50 soil borings performed to explore water levels and the relative suitability of the soils for use as pipe bedding and trench backfill. He also performed SPT borings at the C-23 Canal to explore the depth of cap-rock as it relates to the directional drilling installation of the water main. Lastly, he coordinated a laboratory testing program of the soils relative to their corrosion potential for the pipe.

- Village Parkway, from Becker Road to Tradition Parkway, St. Lucie County, Florida (Engineering Dept.)
AAACE was retained by the City of Port St. Lucie to perform subsurface explorations and inspection/materials testing services during the construction of this proposed 6-lane, 4-mile roadway and associated utility improvements. Peter coordinated the performance of over 100 hand auger borings for the proposed roadways, and numerous SPT borings for proposed mast arm signal poles and retention ponds. Due to the presence of shallow and variable, compressible clay soils combined with the significant quantity of embankment needed to raise the roadway to grade, settlement calculations revealed the potential for significant roadway settlements. Therefore, Peter designed and implemented a surcharge program for the project that was designed to address selected portions of the corridor. During the project, Peter coordinated significant laboratory testing of soil samples (Atterberg Limits, sieve analysis, hydrometer testing, etc.) to ensure the most practical and economical solution to potential settlements.
- Rosser Boulevard, from Aledo Lane to Gatlin Boulevard, St. Lucie County, Florida (Engineering Dept.)
Peter was the Project Manager for the roadway soil survey performed for this 0.5+ mile roadway in Port St. Lucie. Peter's coordinated the performance of numerous auger borings as well as SPT borings relative to the design of mast arm signal pole foundations and retention areas. Additionally, due to the reported presence of buried debris beneath the existing roadway, Peter coordinated a roadway coring program to explore for deleterious materials that may have been buried during original roadway construction. Peter coordinated laboratory testing of the roadway soils, including LBRs for pavement design, sieve analyses, organic content testing and Atterberg Limits testing of clayey soils.

Education

- Master of Engineering in Geotechnical Engineering, University of Florida, 1997
- Bachelor of Science in Civil/Structural Engineering, Technical University of Denmark, 1995

Professional Registrations

- Professional Engineer, State of Florida Registration No. 57956

Professional Affiliations

- Florida Engineering Society
- National Society of Professional Engineers
- Florida Institute of Consulting Engineers
- Geotechnical and Materials Engineering Council, Past-Chair 2008-2009

David L. Hustad, P.E. #44996

756 Via Toscana
Wellington, Florida 33414
(561) 798-7750

QUALIFICATIONS

- B.S.C.E., Civil & Environmental Engineering, Structural Emphasis, University of Wisconsin at Madison, December 1986.
- P.E. Registration in Multiple states
Passed N.C.E.E.S. - Civil PE & SE Part I & SE II (PM-Seismic)
- Special/Threshold Inspection License #6986745
- FL State Product Approval Organization #ANE 3319

EXPERIENCE

Dec '03 - Present **HUSTAD Structural Engineering, LLC** Wellington, FL

President - Created and developed owner/engineer consulting firm for commercial and residential structural engineering services, including inspection services for projects in FL, AL, GA, NJ, and PR.

April '03 - Dec '03 **Scott Blakeslee Disher & Associates** Boynton Beach, FL

Vice President - Set up proper structural review of residential production homes by quality checklists, EIT training, review of detail library, and consulting with national standards. Provide defensible engineering calculations to building departments and 3rd party engineering firms.

October '00 - March '03 **O=Donnell, Naccarato, Mignogna & Jackson** W.Palm Beach, FL

Vice President - Perform and manage the structural design of several executive residential homes, and commercial (retail, supermarket, warehouse, church) buildings in South Florida. Provide expert witness testimony with attorneys. Develop and sustain service relationships with new architectural clientele.

March '00 - October '00 **Builders First Source Design Center** Jacksonville, FL

Vice President - Supervise the truss and residential building structural departments, review and establish analysis and design procedures, manage personnel for production orientated goals.

June '96 - March '00 **Georgia Pacific Corporation** Atlanta, GA
March '94 - March '95 Ocala, FL

National Technical Support Manager - Supervise and train entire sales force in engineered lumber (EL) applications; develop engineering policies and procedures; perform jobsite visits and investigations; resolve claims with legal counsel relating to product misapplication; design and approve repairs; monitor bldg. code changes relating to EL. Provide consultation on special engineering projects (i.e. - literature review, reinforced cantilever, software testing, (2)New American Home & (4)This Old House episodes).

March '95 - May '96 **Truswal Systems Corporation** Lakeland, FL

Chief Engineer - Manage a design staff of 1 P.E., 5 designers, and 2 clerks in the preparation & production of metal plate connected wood truss drawings for the company's eastern U.S. customers. Reviewed and sealed truss drawings and repairs for compliance with local building codes and NDS/TPI standards. Train design staff in approved methods of design and repair, perform jobsite investigations and prepare reports for collapsed trusses. Reviewed software analysis and design assumptions including future improvements.

David L. Hustad, P.E.
756 Via Toscana
Wellington, Florida 33414
(561) 798-7750

August '89 - February '94 **TrusJoist MacMillan Corporation** Pleasanton, CA & Tampa, FL

Regional Engineer/Assistant Engineer - Review of shop drawings; load development; consultation with structural engineers & architects; design and repair of open web trusses, TJI7 joists, and LVL; assisted with O.S.A. approval; instructed at building department seminars; maintained several computers' hardware and software; checked TJM products for seismic/wind loading conditions; supervised shop drawing department. Review of Hurricane Andrew damage to wood structures and report to FLBMDA (Received 1992 Innovator Nominee). Developed National Account engineering support for Olive Garden, Red Lobster, TGIF's, Chili's restaurants.

June '88 - August '89 **Gunny, Brizendine & Poggemeyer** Las Vegas, NV

Engineer-in-Training - The experience I gained was primarily in the field of structural engineering. I began by designing different parts of a building using concrete, wood, steel, and CMU. As I progressed and proved myself, I was given larger responsibilities until I was able to design entire structures. My main focus was the design of 2-4 story Marriott hotels (Courtyard, Resident & Fairfield Inns). Extensive lateral analysis and design was required due to high seismic activity. I completed structural calculations and reviewed the drawings to ensure all proper criteria were met. Other tasks included: review of shop drawings, communication with the architect and contractor, project approval with the building department, and inspecting field conditions.

March '87 - June '88 **Kennedy/Jenks/Chilton** Las Vegas, NV

Engineer-in-Training - At K/J/C, I worked in various areas of Civil Engineering. My first assignments were in land development. Along with designing streets, utilities and open channels for subdivisions, I had the opportunity to learn and operate AutoCad7 software. More complex tasks led to the analysis and design of a reinforced concrete box culvert and a steel staircase. Other duties included the design of a detention basin with outlet works, overseeing two draftsmen, and estimating quantities.

CONTINUING EDUCATION

- 1996 – "Engineering for Extreme Winds", Texas Tech University at Lubbock, Wind Engineering Research Council.
- 1993 SBCCI – "Basic and Advanced Deemed-To-Comply" courses.
- 1999 G-P High Performance Leadership course.
- Simpson Strong-Tie Advanced Wind II and Anchorage courses.
- 2002 Auburn Continuing Education Courses.
- Authored Article in February 2000 of Structural Engineer Magazine.

References furnished upon request

HUSTAD Structural Engineering, LLC

756 Via Toscana

"Good works for Great Clients"

CA 9843

Wellington, FL 33414

School Projects:

Sarasota School of Arts and Sciences

645 Central Avenue

Sarasota, FL

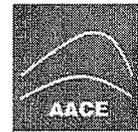
A 43,195 sf 3 story education facility and a 1-Story 10,679 sf gymnasium. Engineering design and drafting using: reinforced masonry walls, concrete beams, hollow-core floor and roof plank with topping, pre-cast concrete columns, and stem wall reinforced concrete foundation construction.

Doral Academy

11100 N.W. 27th Street

Doral, FL 33172

A 33,260 s.f. high school addition – 3 story. Engineering design and drafting using: concrete tilt-up wall panels, soffit beams with precast joist/deck system, steel columns, double tee concrete roof, and stem wall reinforced concrete foundation construction. Threshold inspections are currently being done by our firm.



Key Qualifications

Brian Smith conducts field and laboratory operations within Andersen Andre Consulting Engineers, Inc. (AACE). He is responsible for conducting services such as soil density testing, compressive strength of concrete testing, etc. Brian has performed such services for both private and public sector clients, including St. Lucie County Department of Engineering, Okeechobee County, Martin County, the City of Port St. Lucie and FDOT.

Project Experience

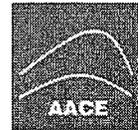
Brian has been conducting construction materials testing services and field explorations in south Florida for more than 15 years. Brian has served as field manager on hundreds of testing programs for developments of all types, including roadways, multi-story buildings, bridges, auger-cast and driven pile installation projects, etc. Some representative projects and contracts under which Brian has worked include the following:

- **Ravenswood Community Center - Geotechnical Engineering Evaluation**
- **Village Parkway, Phases I, IA and II - Geotechnical Engineering Evaluation and Construction Materials Testing**
- **Community Boulevard - Geotechnical Engineering Evaluation and Construction Materials Testing**
- **Glades Wastewater Treatment Plant - Construction Materials Testing**
- **Rangeline Road Water Main - Geotechnical Engineering Evaluation and Construction Materials Testing**
- **Discovery Way (East and West) - Geotechnical Engineering Evaluation and Construction Materials Testing**
- **Multiple ADA Ramp Construction Projects - Construction Materials Testing**
- **Westmoreland Boulevard - Geotechnical Engineering Evaluation and Construction Materials Testing**
- **Bayshore Boulevard Water Main Break Emergency Repairs - Construction Materials Testing**

Certifications

ACI Level I Technician
Nuclear Gauge Soil Density Certified
FDOT/CTQP LBR Technician
FDOT/CTQP ECI 1 Earthwork Technician
FDOT/CTQP Aggregate Field Testing
FDOT/CTQP Asphalt Paving Level 1
FDOT/CTQP Pile Driving Inspection
CMEC Laboratory Soil Technician
Radiation Safety Officer

RALPH F. LEWIS
LABORATORY & ENGINEERING TECHNICIAN



ANDERSEN ANDRE CONSULTING ENGINEERS, Inc.

Key Qualifications

Ralph Lewis conducts field and laboratory operations within Andersen Andre Consulting Engineers, Inc. (AACE). He is responsible for conducting services such as soil density testing, compressive strength of concrete testing, etc. Ralph has performed such services for both private and public sector clients, including St. Lucie County Department of Engineering, Okeechobee County, Martin County, the City of Port St. Lucie and FDOT.

Project Experience

Ralph has been conducting construction materials testing services and field explorations in south Florida for more than 9 years. He has served as field manager on hundreds of testing programs for developments of all types, including roadways, multi-story buildings, bridges, auger-cast and driven pile installation projects, etc. Some representative projects and contracts under which Brian has worked include the following:

- **Ravenswood Community Center - Geotechnical Engineering Evaluation**
- **IRSC Public Safety Complex - Geotechnical Engineering Evaluation and Construction Materials Testing**
- **IRSC CIE Building - Geotechnical Engineering Evaluation and Construction Materials Testing**
- **Community Boulevard - Geotechnical Engineering Evaluation and Construction Materials Testing**
- **Glades Wastewater Treatment Plant - Construction Materials Testing**
- **Rangeline Road Water Main - Geotechnical Engineering Evaluation and Construction Materials Testing**
- **Discovery Way (East and West) - Geotechnical Engineering Evaluation and Construction Materials Testing**
- **Multiple ADA Ramp Construction Projects - Construction Materials Testing**
- **Bayshore Boulevard Water Main Break Emergency Repairs - Construction Materials Testing**

Certifications

ACI Level I Technician
Nuclear Gauge Soil Density Certified

Eric Hernandez
4705 47 Way
West Palm Beach, FL 33407
(561) 635-0675
ehbbi@bellsouth.net

Professional Experience

Inspections

- Atlantis Municipal Complex
- Big City Tavern
- Jupiter Hills Country club
- SWA station in Lantana
- Storage facilities
- 610 Clematis
- The Breakers Hotel
- Tidwell Residence
- Airport Center
- Hawthorne Suites
- Rosarian Academy

Structural Assessments

- Coconut Palm Club Apartments
- Community Center City of Delray Beach
- Don King's Sports Arena
- Executive Airport Business Center
- Jupiter Hills Country club
- Loxahatchee Country Club
- Nando's Restaurant
- Lakeview Towers
- Pineland Airport Center
- Seaside Dunes
- St. Ignatius Loyola Cathedral
- 700s. Olive Ave.

Design

- Broken Sound Country Club
- FAU Bio Medical Science Building
- High Ridge Country Club
- Palm Beach Community Health Care District
- P.B.S.O. Substation
- St. Andrews Lower School
- Trump Clubhouse

Objective

Providing Structural Inspections of commercial and residential buildings Per Florida Building Code and Industry standards.

Qualifications

BSCE, FIU 1996
State Certified Building Inspector
BN # 0003465
My Safe Florida Home Inspector
P.T.I. level one and P.T.I. Certified Inspector
State Certified Building plans examiner

Work History

2003 to Present B.B.I. Building Inspections Inc.
1997 to 2003, ONM&J
Structural Inspector/ Field Engineer / Design Engineer

Education

1991-1996 Bachelor of Science in Civil Engineering, F.I.U.
1986-1988 Industrial Electronics, Miami Lakes Technical

References

Joseph Mincuzzi, PE , Chief Inspector, ONM& 561.835.9994
Dwayne Jackson, PE, Principal, ONM& 561.835.9994
David L. Hustad, PE, President, Hustad Structural Engineering, LLC. 561.798.7750
Allen Wieder, PE, SECB, President, Wieder Engineering, Inc. 772.546.5823

Languages

English, Spanish and learning Russian

Computer Skills

Microsoft Office programs
Staad Etc.
Enercalc
RamAdvance

Career Objectives

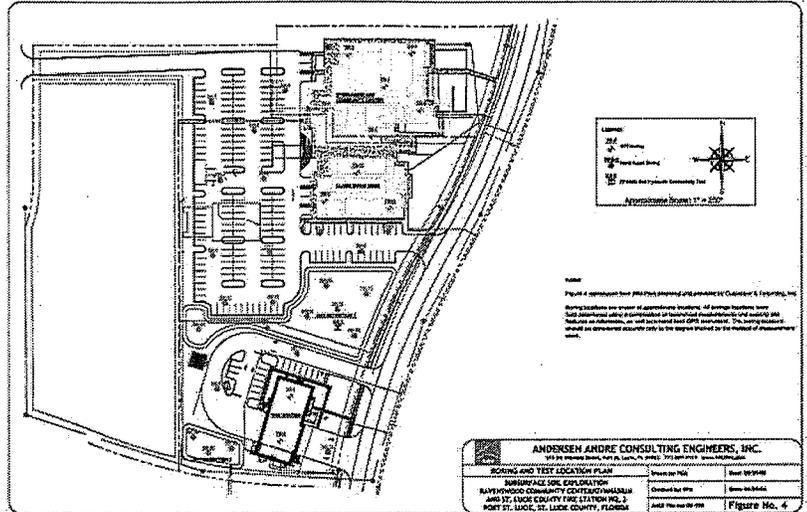
Professional Engineering License
C.B.O. License

Project Name: *Ravenswood Community Center and St. Lucie County Fire Station No. 3*
Subsurface Soil Exploration and Geotechnical Engineering Consulting
Port St. Lucie, Florida

Client: City of Port St. Lucie c/o Culpepper & Terpening, Inc.
(Mr. Patrick Pecunia, Project Engineer - 772.464.3537)

Brief Project Description:

AACE was retained by the City of Port St. Lucie through Culpepper & Terpening to perform subsurface explorations to evaluate the soils at the proposed Ravenswood and Fire Station No. 3 site. AACE personnel performed 25 hand auger borings for the proposed roadways and parking areas, and 11 SPT borings for the proposed low-rise structures and the gymnasium. AACE Project Manager Peter Andersen, P.E. also consulted with Culpepper & Terpening's drainage engineers relative to the presence of clay soils within the proposed retention pond, and the soils' potential to impede vertical percolation.



We also included language within the report that clearly identified the presence of the clay soils, and the soils potential to have an impact on construction. Specifically, the presence of clay soils frequently causes delays in site work due to the inherent nature of the soils to retain moisture, thus making them difficult to compact. By clearly identifying these soils in our report as well as "cautionary notes" to the contractor, we maintained the City of Port St. Lucie's best interest. Some examples of this protective language included:

"We note that, if an individual footing is to be constructed within a stratum of clayey fine sands (as encountered in a few locations throughout the site), compaction of these clayey soils may be problematic due to the fines content and associated tendency of these soils to retain excess moisture. To expedite construction, consideration can be given to over-excavating the footings (say 2 feet) and replacing these clayey sands with well-compacted free-draining fine sands containing no more than 12 percent fines. This sand backfill should be compacted in lifts not exceeding 12 inches so as to achieve a dry density not less than 95 percent of its Modified Proctor maximum value."

"The shallow subsoils below, say 4 to 6 feet consist mostly of slightly clayey to occasionally clayey sands which may be difficult to dewater. Further, due to the elevated fines content of the soils and the resulting tendency of the soils to retain excessive moisture, these site soils may be problematic if the contractor intends to excavate the soils and immediately (or shortly thereafter) return the soils to the excavation as backfill. If the on-site soils discussed herein are to be used as pipe trench backfill, it will be necessary to stockpile the moist, clayey soils for extended periods to allow for some degree of drying coupled with mechanical manipulation to further reduce moisture levels. Additionally, it will also likely be necessary to mix the soils with imported, dry, free-draining sandy soils with a much lower fines content (preferably 4% or less) to reduce the percent fines to, say 10-12 percent. As such, to facilitate a reasonable construction schedule, it may be necessary to utilize clean, free-draining fine sand for use as pipe trench backfill."

AACE's experience at the Ravenswood site gained by the performance of a comprehensive subsurface soil exploration and Geotechnical Engineering evaluation, we believe, makes us uniquely qualified to perform the necessary construction materials testing.



Project Name: *Indian River State College Public Safety Complex, Fort Pierce*
Subsurface Soil Exploration, Geotechnical Engineering Consulting, Construction Materials Testing
Fort Pierce, Florida

Client: Indian River State College (IRSC)
(Mr. Allen Bottorff, P.E., Chief Engineer 772.462.7823)

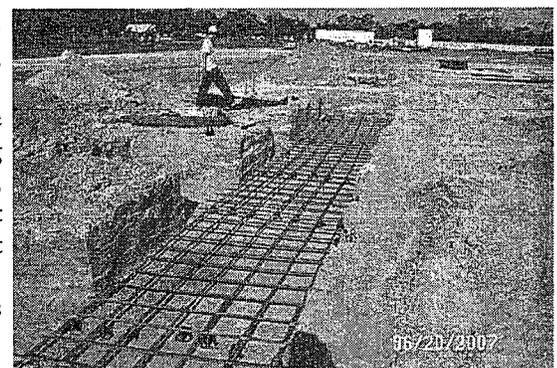
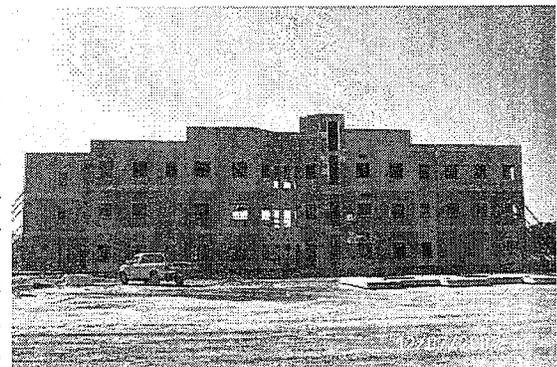
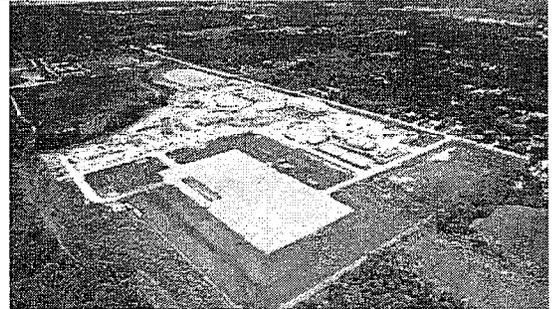
Brief Project Description:

AACE was retained by IRSC to perform a subsurface soil exploration for the proposed Public Safety Complex in Fort Pierce. The \$150+ million facility included design and construction of several multi-story buildings, a 6-story fire fighting burn tower, numerous roadways and retention ponds. AACE personnel performed more than 50 SPT and auger borings to explore the in-place soils. AACE engineers provided a thorough Geotechnical Engineering Evaluation report detailing the presence of clayey soils and the potential budgetary impacts that these soils may have on earthwork construction. Subsequent to providing our geotechnical engineering services, we were asked to provide construction materials testing on behalf of the College.

AACE began materials testing beginning in April 2007 and the project was completed in August 2009.

Summary of Services Provided (in the general order in which they were performed):

- Performed more than 50 SPT and auger borings to explore natural soils and their strength properties at the site;
- Analyzed subsurface conditions, including the presence of compressible clays, and Prepared a Geotechnical Engineering Evaluation Report detailing potential construction difficulties;
- Provided Senior Field Technician to perform in-place soil density testing of pad fill, footing excavations, roadway/parking lot embankment, stabilized subgrade, base rock, utility and stormdrain trench backfill;
- Performed laboratory characterization testing of soils (i.e., Percent Fines, Proctor testing, Atterberg Limits, LBRs, carbonate content);
- Performed compressive strength testing of concrete used during construction of the buildings, including sampling at the concrete plant for QA/QC purposes;
- Observed paving operations, measured asphalt temperature and lift thickness, and obtained asphalt cores for laboratory specific gravity testing;
- Performed bolt-tightness and fireproofing thickness testing;



QUESTIONNAIRE

E-Bid #20110042

Threshold and Construction Materials Testing for the Ravenswood Community Center

It is understood and agreed that the following information is to be used by the City of Port St. Lucie to determine the qualifications of personnel and firm as presented in this document. The Proposer waives any claim against the City that might arise with respect to any decision concerning the qualifications of the Proposer or the personnel of the Proposer.

The undersigned attests to the truth and accuracy of all statements made on this questionnaire. Also, the undersigned hereby authorizes any public official, Consultant, Surety, bank material or equipment manufacturer or distributor, or any person, firm or corporation to furnish the City of Port St. Lucie any Pertinent information requested by the City deemed necessary to vary the information on this questionnaire.

Dated this 9th day of March, 2011

Ardaman & Associates, Inc. / Dan J. Zrallack, P.E.

Name of Organization / Proposer

1. Firm's office address, phone, fax number, e-mail address and contact person for this project:

Ardaman & Associates, Inc. 772-878-0072 (office)
460 NW Concourse Place, Unit 1 772-878-0097 (fax)
Port St. Lucie, Florida 34986 Dan Zrallack, P.E. dzrallack@ardaman.com

2. Number of full time personnel that will be assigned to this project?

Name	Title	EST hours
Bill Goodson, P.E. Special Inspector License No. 1003 Florida P.E. License No. 37935	Special Inspector/Threshold Inspector Senior Materials Engineer	20
Dan J. Zrallack, P.E. Florida P.E. License No. 63911	Threshold Inspector Field Agent Project Manager/Senior Project engineer	60
Will B. Cornelius II, P.E. Florida P.E. License No. 67538	Threshold Inspector Field Agent Project Engineer	20
Thomas Cahill	Senior Field Technician	60
Angel Rivera	Field Technician	60
Keith Jacobson	Field Technician/Lab Technician	200
Mervan Parker	Senior Field Technician	As needed
William Dunning	Field Technician	As needed
Eric Coburn	Lab Technician / Field Technician	As needed
John Wennergren	Field Technician	As needed
James Johnson	Senior Field Technician	As needed
Pedro Milian	Senior Field Technician	As needed
Deanna Duffy	Secretary / Clerical	20

Number of part time personnel that will be assigned to this project:

Name	Title	EST hours
N/A	N/A	N/A
N/A	N/A	N/A
N/A	N/A	N/A

3. What is the experience of your staff with Threshold Inspection Services assigned to this project?

Name	Years of Exp.	Type Testing
Bill Goodson, P.E. Special Inspector License No. 1003 Florida P.E. License No. 37935	30	Review all field inspection reports, test results and other correspondences. Make periodic site visits to spot check critical components of the construction and offer consultations as required.
Dan J. Zrallack, P.E. Florida P.E. License No. 63911	14	Perform inspections following the approved threshold inspection plan in the field and issue necessary documentation to the City's PM and Building Department under direct supervision of the Special Inspector.
Will B. Cornelius II, P.E. Florida P.E. License No. 67538	6	Perform inspections following the approved threshold inspection plan in the field and issue necessary documentation to the City's PM and Building Department under direct supervision of the Special Inspector.

What is the experience of your staff for Construction Materials Testing assigned to this project?

Name	Years of Exp.	Type Testing
Dan J. Zrallack, P.E. Project Manager Senior Project Engineer	14	Supervise and monitor field technicians, review and sign/seal test reports, offer consultations and attend progress meetings as required, track budgets and inform City PM of any deviation or deficiencies from the project plans and specifications. Provide engineering oversight and review and submittal of brief engineering reports regarding verification of specification compliance.
Will B. Cornelius II, P.E. Project Engineer	6	Assist in the supervision and support of the field technicians and review laboratory testing reports.
Thomas Cahill Senior Field Technician	5	Perform earthwork observations during site grading, stripping/grubbing and proof-rolling inspections, in-place density testing, continuous concrete and masonry grout monitoring and testing on an as-needed basis as dictated by the pace of construction.

<p>Angel Rivera Field Technician</p>	<p>5</p>	<p>Perform earthwork observations during site grading, stripping/grubbing and proof-rolling inspections, in-place density testing, continuous concrete and masonry grout monitoring and testing on an as-needed basis as dictated by the pace of construction. Also perform compressive strength testing of concrete and grout sample specimens.</p>
<p>Keith Jacobson Field Technician/Lab Technician</p>	<p>7</p>	<p>Perform earthwork observations during site grading, stripping/grubbing and proof-rolling inspections, in-place density testing, continuous concrete and masonry grout monitoring and testing on an as-needed basis as dictated by the pace of construction. Also perform various laboratory testing including but not limited to Proctor and LBR tests.</p>
<p>Mervan Parker Senior Field Technician</p>	<p>24</p>	<p>Perform earthwork observations during site grading, stripping/grubbing and proof-rolling inspections, in-place density testing, continuous concrete and masonry grout monitoring and testing on an as-needed basis as dictated by the pace of construction.</p>
<p>William Dunning Field Technician</p>	<p>7</p>	<p>Perform earthwork observations during site grading, stripping/grubbing and proof-rolling inspections, in-place density testing, continuous concrete and masonry grout monitoring and testing on an as-needed basis as dictated by the pace of construction.</p>
<p>Eric Coburn Lab Technician / Field Technician</p>	<p>3.5</p>	<p>Perform earthwork observations during site grading, stripping/grubbing and proof-rolling inspections, in-place density testing, continuous concrete and masonry grout monitoring and testing on an as-needed basis as dictated by the pace of construction. Also perform various laboratory testing including but not limited to Proctor and LBR tests.</p>
<p>John Wennergren Field Technician</p>	<p>3.5</p>	<p>Perform earthwork observations during site grading, stripping/grubbing and proof-rolling inspections, in-place density testing, continuous concrete and masonry grout monitoring and testing on an as-needed basis as dictated by the pace of construction.</p>
<p>James Johnson Senior Field Technician</p>	<p>30</p>	<p>Perform earthwork observations during site grading, stripping/grubbing and proof-rolling inspections, in-place density testing, continuous concrete and masonry grout monitoring and testing on an as-needed basis as dictated by the pace of construction.</p>
<p>Pedro Milian Senior Field Technician</p>	<p>5</p>	<p>Perform earthwork observations during site grading, stripping/grubbing and proof-rolling inspections, in-place density testing, continuous concrete and masonry grout monitoring and testing on an as-needed basis as dictated by the pace of construction.</p>
<p>Deanna Duffy Technical Secretary</p>	<p>20</p>	<p>Prepare test and inspection reports for the Project Manager and Special Inspector to review. Distribute reports and prepare monthly invoices.</p>

4. All employees that will be working on site for this project must meet the Jennifer Lunsford Act.
Have the above named employees already met the Jessica Lunsford Requirements? YES
5. Number of days notification required to be onsite for this project: 1
6. Does your firm accept payment by Credit Card? YES

ADDENDUM ACKNOWLEDGMENT - Proposer acknowledges that the following addenda have been received and are included in his/her proposal:

Addendum Number	Date Issued
N/A	N/A

CERTIFICATION:

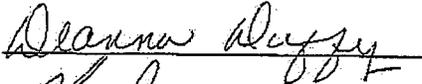
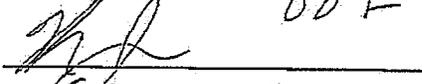
This E-Bid is submitted by: Name (print) Dan J. Zrallack, P.E. who is an officer of the above firm duly authorized to sign proposals and enter into contracts. I certify that this E-Bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a proposal for the same materials, supplies, or equipment, and is in all respects fair and without collusion or fraud. I understand collusive bidding is a violation of State and Federal law and can result in fines, prison sentences, and civil damage awards. I agree to comply with all requirements stated in the specifications for this E-bid, the Terms and Conditions including amendments to Master Contract #20070116, and that all employees that will be working on site will comply with the Jessica Lunsford Act.

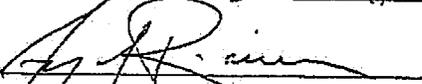
I agree to abide by all conditions of this E-Bid.:

 Assistant Vice President
Title

If a corporation renders this E-Bid, the corporate seal attested by the assistant vice president shall be affixed below. Any agent signing this E-Bid shall attach to this form evidence of legal authority.

Witnesses:

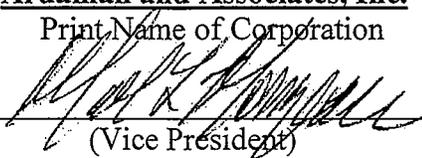



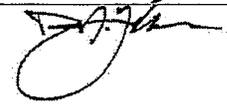


If Corporation:

Ardaman and Associates, Inc.

Print Name of Corporation

By:  /2011
(Vice President)

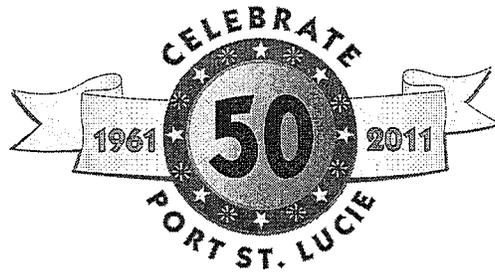
Attest: **X** 

Dan J. Zrallack, P.E.
Assistant Vice President





"A City for All Ages"



CITY OF PORT ST. LUCIE

**Sealed Electronic Proposal #20110042
(E-Bid)**

Threshold and Construction Material Testing for Ravenswood Community Center Project

Prepared By:
Cheryl Shanaberger
Office of Management & Budget
121 SW Port St. Lucie Boulevard
Port St. Lucie, FL 34984-5099
772-871-7390
cheryls@cityofpsl.com

NOTE: THIS REQUEST FOR AN E-BID IS ONLY FOR THE FOLLOWING CONSULTANTS WHO HOLD MASTER CONTRACT #20070116 WITH THE CITY:

- **Nodarse & Associates Inc.**
- **Nutting-Engineers of Florida Inc.**
- **Andersen Andre Consulting Engineers, Inc.**
- **Ardaman & Associates, Inc.**
- **Dunkelberger Engineering**

INVITATION TO E-BID

Sealed Electronic Proposal #20110042 for the Threshold and Construction Material Testing for the Ravenswood Community Center Project will be received by the Office of Management and Budget of the City of Port St. Lucie no later than **3:00:00 p.m. on March 14, 2011.** Specifications are attached.

All submittals must be received by the date and time specified above, when they will be opened and the names publicly read aloud. The proposal time must be and shall be scrupulously observed. Under no circumstances shall submittals uploaded to Demandstar.com after the time specified be accepted or considered. It is the sole responsibility of the Proposer to ensure that his or her submittal is uploaded on or before the closing date and time. The City shall in no way be responsible for delays caused by any power outages or internet failures. No exceptions will be made.

Electronic replies will be the **only** method allowed for Bidders to respond to this solicitation. All submittals must be compatible with Microsoft Office 2003. E-Bidding will be done through a secure locked box. Bidders can only view/submit their E-Bid and will not have access to any other Bidder's submittals. The Bidder's E-Bid may be changed at the Bidder's discretion until the due date and time have been reached at which time the Bidder will no longer change or have access to the electronic bid submittal. The City will then open the E-Bids. Bidders who are e-bidding for the first time are strongly encouraged to contact Demandstar at (800) 771-1712 or obtain assistance by e-mailing questions to supplierservices@onvia.com.

The City of Port St. Lucie reserves the right to reject any and all bids, to waive any and all informalities or irregularities, and to accept or reject all or any part of any bid as it may deem to be in the best interest of the citizens of the City.

All Terms and Conditions of the Master Contract #20070116 and amendments thereof shall apply to the contract issued from this proposal.

For the purpose of this bid, the term Bidder, E-Bidder, Proposer and Consultant may be used interchangeably.

Documents required for this E-Bid:
Competed Questionnaire

Submittal of E-Bid - All proposals shall be submitted by completing and returning the Questionnaire. The Questionnaire should be typed or printed and signed in black ink. All submittals are required to be electronic. No hard copies will be accepted.

- A. Request Bid Specifications, #20110032 from Onvia, via phone 800-711-1712 or via internet www.cityofpsl.com
- B. Download the Questionnaire and save to your hard drive, program is in Word 2003 Professional. Enter information requested on the Questionnaire.
- C. Electronically sign the Questionnaire where indicated.
- D. Upload and submit the Questionnaire for E-Bid #20110042 onto Demandstar by the due date and time. Acknowledge all Addenda on the Questionnaire.
- E. Enter Zero on the web page for cost or you will receive an error message and your submittal will be denied.

**** Only electronic replies are required. No hard copies will be accepted.**

TENTATIVE SCHEDULE

It is the intent of the City to have this project completed within a limited time frame. Therefore, priority will be given to firms who recognize and display the ability to work within the restrictions of the following tentative schedule:

Review and Selection Process:

Advertisement with Onvia DemandStar	March 4, 2011
Proposal Due	March 14, 2011 3:00 P.M. EST
Evaluation Committee*	March 16, 2011 10 A.M
Q & A*	March 18, 2011 9 A.M.
Tentative City Council Contract Approval	March 28, 2011

*Committee will meet in Conference Rm (390) in the Office of Management & Budget at 3 pm.

* Committee will meet in Conference Rm (390) in the Office of Management & Budget at 9 am.

EVALUATION AND AWARD

Responses will be scored in the following manner:

<u>CRITERION</u>	<u>MAXIMUM SCORE</u>
a) Assigned Staff Experience in Threshold Inspection of this type	40 points
b) Assigned Staff Experience in Construction Material Testing of this type.	40 points
c) Notification Required to be on Project	10 points
d) Staff on project already meet Jessica Lunsford Requirements	5 points
e) Accepts Payment by P-Card	<u>5 points</u>

Total Maximum Points 100

The City's Office of Management & Budget (OMB) reserves the right to request any additional information needed for clarification from any proposer for evaluation purposes.

The Scope of Work for the Threshold Inspection Service per F.S.553.79 and Construction Materials Testing for the Ravenswood Community Center.

The Ravenswood Community Center is located on Ravenswood Lane about one block south of Prima Vista Boulevard. The project includes a proposed Community Center/Gymnasium that will be a one-story slab-on-grade structure with a building footprint of approximately 24,771 square feet (S.F.) and a proposed IRSC building that will be a one-story' slab-on-grade structure with a building footprint of approximately 10,980 square feet (S.F.). The Community Center/Gymnasium buildings will have concrete masonry unit (CMU) walls and structural steel framing supporting a concrete roof system. The IRSC building will have concrete masonry unit (CMU) walls and structural steel framing supporting a light steel framed roof and plywood sheathing system.

The project will also involve site work that includes site clearing and site grading to prepare the proposed building and pavement areas, installation of underground utilities and drainage system, and concrete pavement construction.

The construction materials testing services shall include field and laboratory testing of soils, concrete, and masonry components. The threshold inspection services shall be provided in accordance with the approved Threshold Inspection Plan and Florida State Statues.

Construction Materials Testing

An engineering technician shall perform earthwork observations during the site grading operation. This will include observations and proof-rolling of the "stripped" grade soils prior to fill placement within the proposed building and pavement areas.

In-place density testing of the structural fill placed within the proposed building and pavement areas.

In-place density testing during backfilling of the underground rigid and flexible utility pipelines. The density tests will be performed at a frequency of one test location for each 200 lineal feet (or fraction thereof) of pipe. At each location, density tests will be performed for each 1-foot lift of backfill placed starting at an elevation corresponding to the invert of the pipe and extending up to the final grade.

In-place density testing during backfilling of the underground drainage and sanitary sewer structures for each 1-foot lift of backfill placed from the bottom of the structure up to an elevation corresponding to final grade.

Laboratory moisture-density relationship or Proctor tests (AASHTO T-180 and T-99) will be conducted on the soils used as structural.

In-place density testing of the pavement components including stabilized sub-grade and base course, as well sidewalk and/or concrete paving sub-grade prior to placing concrete or pavers.

Limerock Bearing Ratio (LBR) tests will be performed on the stabilized sub-grade and base course material.

In-place density testing during building construction at the footing sub-grade and concrete slab sub-grade prior to placing concrete.

Continuous concrete testing during the building construction per specifications (footings and slabs). This includes continuous field sampling and slump testing of each load of concrete delivered to the site. Also, molding, transporting, and curing of concrete test cylinders, as well as laboratory testing to determine compressive strength of the concrete used for the construction.

Testing of the structural masonry components during construction of the CMU walls. This includes continuous field sampling and slump testing of each load of coarse masonry grout delivered to the site. Also, molding, transporting, and curing of grout prisms, as well as laboratory testing to determine compressive strength of the coarse masonry grout, as well as the mortar used for the structural masonry wall construction.

Construction materials testing services will be provided on an as-needed basis as dictated by the pace and methods of construction.

Provide Engineering oversight during the construction to coordinate the aforementioned test program, engineering review and submittal of brief engineering reports documenting our findings, test results and specification compliance.

Scope of Work Threshold Inspection Service per F.S.553.79

Responsible for following and executing the approved threshold inspection plan in the field and will issue the necessary documentation to the City of Port St. Lucie Project Manager and Building Department attesting to that. The Threshold Inspector may not be in the field on a daily basis but will review, in the office, all field reports, test results and related correspondence. The Threshold Inspector will be available to make periodic site visits to spot check critical components of the construction and offer consultations as required by the City of Port St. Lucie. A detailed scope of work shall be submitted with proposal.

The Threshold Inspector shall be represented in the field on a will call basis by an onsite resident inspector. This individual will meet all legal requirements for this work and have substantial experience in cast-in-place concrete, unit masonry and structural steel and light steel framed construction.

The inspector will make the required field inspections, coordinate these with other members of the construction team and document the results in daily written reports. A weekly report shall be signed & sealed by the Threshold Inspector and submitted to the City of Port St. Lucie Project Manager each Monday of the following week.

FBC Section 11927.12.1 and BCAC 109.10.2.1

FBC Section 2122.4 and BCAC 109.10.2.2

FBC Section 2223.11.1 and BCAC 109.10.2.4

A. STANDARD THRESHOLD INSPECTION PROCEDURES

1.0 FOUNDATION

- 1.1 Excavation/subsurface preparation.
- 1.2 Observation of soil compaction methods.
- 1.3 Placement, size, and grade of reinforcing steel and dowels spread footings, wall footings and all foundation elements.
- 1.4 Soil treatment
- 1.5 Verify that all MEP ground rough has been approved by the appropriate inspecting agency.
- 1.6 Moisture protection
- 1.7 Monitor Placement of Cast Concrete (optional if required by threshold inspection plan)

2.0 REINFORCED CONCRETE

- 2.1 Reinforcing Steel
 - 2.1.1 Check shipment
 - 2.1.2 Size/grade/bending
 - 2.1.3 Placement
 - 2.1.4 Support and typing
 - 2.1.5 Cover
 - 2.1.6 Length and splices
 - 2.1.7 Clear formwork before pour
 - 2.1.8 Integrity of form work, and shoring
 - 2.1.9 Monitor Placement of Cast Concrete (optional if required by threshold inspection plan)
- 2.2 Embedded Items
 - 2.2.1 Anchor bolts
 - 2.2.2 Inserts, Plates
 - 2.2.3 Sleeves

3.0 STRUCTURAL STEEL

- 3.1 Observation of condition upon delivery of job site
- 3.2 Examine for compliance with the approved shop drawings and erection plan
- 3.3 Bolting
 - 3.3.1 Size
 - 3.3.2 Number
 - 3.3.3 Torque
- 3.4 Welding
 - 3.4.1 Weld size and length
 - 3.4.2 Weld cleaning and preparation

4.0 REINFORCED CONCRETE UNIT MASONRY

- 4.1 Observe reinforcement placement
- 4.2 Review test reports
- 4.3 Review embed items
- 4.4 Monitor grouting of Filled cells (optional if required by threshold inspection plan)

5.0 LIGHT GAUGE METAL ROOF TRUSSES

- 5.1 Observation of condition upon delivery of job site
- 5.2 Examine for compliance with the approved shop drawings and erection plan

- 5.3 Bolting
 - 5.3.1 Size
 - 5.3.2 Number
 - 5.3.3 Torque
- 5.4 Welding
 - 5.4.1 Weld size and length
 - 5.4.2 Weld cleaning and preparation

B. REPORTING

- 1. The Threshold Inspector shall submit written reports to the City of Port St Lucie Project Manager and the Building Department on each Monday of the following week.
 - 1.1 The Threshold Inspector shall keep an exception file.
 - 1.2 A final letter of compliance shall be issued to the City of Port St. Lucie Project Manager and the Building Department within seven (7) calendar days upon completion of all work.

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**QUESTIONNAIRE
E-Bid #20110042**

Threshold and Construction Materials Testing for the Ravenswood Community Center

It is understood and agreed that the following information is to be used by the City of Port St. Lucie to determine the qualifications of personnel and firm as presented in this document. The Proposer waives any claim against the City that might arise with respect to any decision concerning the qualifications of the Proposer or the personnel of the Proposer.

The undersigned attests to the truth and accuracy of all statements made on this questionnaire. Also, the undersigned hereby authorizes any public official, Consultant, Surety, bank material or equipment manufacturer or distributor, or any person, firm or corporation to furnish the City of Port St. Lucie any Pertinent information requested by the City deemed necessary to vary the information on this questionnaire.

Dated this 14th day of March , 2011

 Nodarse & Associates, Inc.
Name of Organization / Proposer

(This is a word document please add space as needed.)

1. Firm's office address, telephone, fax number, e-mail address and contact person for this project
 Nodarse & Associates, Inc.
 2448 Metrocentre Boulevard, West Palm Beach, Fl 33407
 Contact Person: Hugo E. Soto, P.E.
 Tel: 561-616-0870
 Fax: 561-616-0871
 Email: hsoto@nodarse.com

2. Number of full time personnel that will be assigned to this project:

Name	Title	EST hours
Dennis Torres	Senior Engineering Technician	20 hrs/week
Edwin Ayestas	Engineering Technician	20 hrs/week
Cathie Fickling	Laboratory Technician	5 hrs/week
Hugo E. Soto, P.E.	Project Manager	1 hr/week
Juan Lopez, P.E.	Project Engineer	2 hrs/week

(This is a word document add lines as needed)

- Number of part time personnel that will be assigned to this project:

Name	Title	EST hours
Steve Gray	Senior Engineering Technician	As required
Fernando Garces	Engineering Technician	As required
Myron Bell	Senior Engineering Technician	As required
Rutugandha H. Nulkar, P.E.	Project Engineer	As required

(This is a word document add lines as needed)

3. What is the experience of your staff with Threshold Inspection Services assigned to this project?

Name	Years of Exp	Type Testing
John Postlethwaite	33	Threshold and Special Inspection Representative
Daniel Dunham, P.E., S. I.	30	Threshold Engineer

What is the experience of your staff for Construction Materials Testing assigned to this project?

Name	Years of Exp	Type Testing
Hugo E. Soto, P.E.	30	Geotechnical, Construction materials testing and inspection services
Rutugandha H. Nulkar, P.E.	6	Geotechnical and Construction materials testing
Juan Lopez, P.E.	11	Construction materials testing
Myron Bell	17	Asphalt testing
Dennis Torres	12	Earthwork and concrete testing, laboratory testing
Edwin Ayestas	7	Earthwork and concrete testing
Steve Gray	20	Earthwork and concrete testing
Fernando Garces	24	Earthwork and concrete testing
Cathie Fickling	5	Laboratory Technician

4. All employees that will be working on site for this project must meet the Jennifer Lunsford Act. Have the above named employees already met the Jessica Lunsford Requirements? yes

5. Number of days notification required to be onsite for this project 12 hours

6. Does your firm accept payment by Credit Card? yes

ADDENDUM ACKNOWLEDGMENT - Proposer acknowledges that the following addenda have been received and are included in his/her proposal:

Addendum Number	Date Issued
N/A	

CERTIFICATION:

This E-Bid is submitted by: Name (print) Leila Jammal Nodarse, P.E. who is an officer of the above firm duly authorized to sign proposals and enter into contracts. I certify that this E-Bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a proposal for the same materials, supplies, or equipment, and is in all respects fair and without collusion or fraud. I understand collusive bidding is a violation of State and Federal law and can result in fines, prison sentences, and civil damage awards. I agree to comply with all requirements stated in the specifications for this E-bid, the Terms and Conditions including amendments to Master Contract

#20070116, and that all employees that will be working on site will comply with the Jessica Lunsford Act.

I agree to abide by all conditions of this E-Bid.:

[Signature] _____ President/CEO
Signature Title

If a corporation renders this E-Bid, the corporate seal attested by the secretary shall be affixed below. Any agent signing this E-Bid shall attach to this form evidence of legal authority.

Witnesses:

[Signature]
[Signature]
[Signature]

If Partnership:

Print Name of Firm

By: _____
(General Partner)

If Corporation:

Nodarse & Associates, Inc.
Print Name of Corporation

By: [Signature]
(President)

Attest: [Signature]
(Secretary)

If Individual:

Signature _____

Print Name _____





"A City for All Ages"



CITY OF PORT ST. LUCIE

**Sealed Electronic Proposal #20110042
(E-Bid)**

Threshold and Construction Material Testing for Ravenswood Community Center Project

Prepared By:

Cheryl Shanaberger
Office of Management & Budget
121 SW Port St. Lucie Boulevard
Port St. Lucie, FL 34984-5099
772-871-7390
cheryls@cityofpsl.com

NOTE: THIS REQUEST FOR AN E-BID IS ONLY FOR THE FOLLOWING CONSULTANTS WHO HOLD MASTER CONTRACT #20070116 WITH THE CITY:

- Nodarse & Associates Inc.
- Nutting-Engineers of Florida Inc.
- Andersen Andre Consulting Engineers, Inc.
- Ardaman & Associates, Inc.
- Dunkelberger Engineering

INVITATION TO E-BID

Sealed Electronic Proposal #20110042 for the Threshold and Construction Material Testing for the Ravenswood Community Center Project will be received by the Office of Management and Budget of the City of Port St. Lucie no later than **3:00:00 p.m. on March 14, 2011.** Specifications are attached.

All submittals must be received by the date and time specified above, when they will be opened and the names publicly read aloud. The proposal time must be and shall be scrupulously observed. Under no circumstances shall submittals uploaded to Demandstar.com after the time specified be accepted or considered. It is the sole responsibility of the Proposer to ensure that his or her submittal is uploaded on or before the closing date and time. The City shall in no way be responsible for delays caused by any power outages or internet failures. No exceptions will be made.

Electronic replies will be the **only** method allowed for Bidders to respond to this solicitation. All submittals must be compatible with Microsoft Office 2003. E-Bidding will be done through a secure locked box. Bidders can only view/submit their E-Bid and will not have access to any other Bidder's submittals. The Bidder's E-Bid may be changed at the Bidder's discretion until the due date and time have been reached at which time the Bidder will no longer change or have access to the electronic bid submittal. The City will then open the E-Bids. Bidders who are e-bidding for the first time are strongly encouraged to contact Demandstar at (800) 771-1712 or obtain assistance by e-mailing questions to supplierservices@onvia.com.

The City of Port St. Lucie reserves the right to reject any and all bids, to waive any and all informalities or irregularities, and to accept or reject all or any part of any bid as it may deem to be in the best interest of the citizens of the City.

All Terms and Conditions of the Master Contract #20070116 and amendments thereof shall apply to the contract issued from this proposal.

For the purpose of this bid, the term Bidder, E-Bidder, Proposer and Consultant may be used interchangeably.

Documents required for this E-Bid:
Completed Questionnaire

Submittal of E-Bid - All proposals shall be submitted by completing and returning the Questionnaire. The Questionnaire should be typed or printed and signed in black ink. All submittals are required to be electronic. No hard copies will be accepted.

- A. Request Bid Specifications, #20110032 from Onvia, via phone 800-711-1712 or via internet www.cityofpsl.com
- B. Download the Questionnaire and save to your hard drive, program is in Word 2003 Professional. Enter information requested on the Questionnaire.

- C. Electronically sign the Questionnaire where indicated.
- D. Upload and submit the Questionnaire for E-Bid #20110042 onto Demandstar by the due date and time. Acknowledge all Addenda on the Questionnaire.
- E. Enter Zero on the web page for cost or you will receive an error message and your submittal will be denied.

**** Only electronic replies are required. No hard copies will be accepted.**

TENTATIVE SCHEDULE

It is the intent of the City to have this project completed within a limited time frame. Therefore, priority will be given to firms who recognize and display the ability to work within the restrictions of the following tentative schedule:

Review and Selection Process:

Advertisement with Onvia DemandStar	March 4, 2011
Proposal Due	March 14, 2011 3:0:0 P.M. EST
Evaluation Committee*	March 16, 2011 10 A.M
Q & A*	March 18, 2011 9 A.M.
Tentative City Council Contract Approval	March 28, 2011

- *Committee will meet in the Conference Room (390) in the Office of Management & Budget at 3 pm.
- * Committee will meet in the Conference Room (390) in the Office of Management & Budget at 9 am.

EVALUATION AND AWARD

Responses will be scored in the following manner:

	<u>CRITERION</u>
<u>MAXIMUM SCORE</u>	
a) Assigned Staff Experience in Threshold Inspection of this type	40 points
b) Assigned Staff Experience in Construction Material Testing of this type...	40 points
c) Notification Required to be on Project.....	10 points
d) Staff on project already meet Jessica Lunsford Requirements	5 points
e) Accepts Payment by P-Card	<u>5 points</u>
Total Maximum Points	100

The City's Office of Management & Budget (OMB) reserves the right to request any additional information needed for clarification from any proposer for evaluation purposes.

The Scope of Work for the Threshold Inspection Service per F.S.553.79 and Construction Materials Testing for the Ravenswood Community Center.

The Ravenswood Community Center is located on Ravenswood Lane about one block south of Prima Vista Boulevard. The project includes a proposed Community Center/Gymnasium that will be a one-story slab-on-grade structure with a building footprint of approximately 24,771 square feet (S.F.) and a proposed IRSC building that will be a one-story slab-on-grade structure with a building footprint of approximately 10,980 square feet (S.F.). The Community Center/Gymnasium buildings will have concrete masonry unit (CMU) walls and structural steel framing supporting a concrete roof system. The IRSC building will have concrete masonry unit (CMU) walls and structural steel framing supporting a light steel framed roof and plywood sheathing system.

The project will also involve site work that includes site clearing and site grading to prepare the proposed building and pavement areas, installation of underground utilities and drainage system, and concrete pavement construction.

The construction materials testing services shall include field and laboratory testing of soils, concrete, and masonry components. The threshold inspection services shall be provided in accordance with the approved Threshold Inspection Plan and Florida State Statutes.

Construction Materials Testing

An engineering technician shall perform earthwork observations during the site grading operation. This will include observations and proof-rolling of the "stripped" grade soils prior to fill placement within the proposed building and pavement areas.

In-place density testing of the structural fill placed within the proposed building and pavement areas.

In-place density testing during backfilling of the underground rigid and flexible utility pipelines. The density tests will be performed at a frequency of one test location for each 200 lineal feet (or fraction thereof) of pipe. At each location, density tests will be performed for each 1-foot lift of backfill placed starting at an elevation corresponding to the invert of the pipe and extending up to the final grade.

In-place density testing during backfilling of the underground drainage and sanitary sewer structures for each 1-foot lift of backfill placed from the bottom of the structure up to an elevation corresponding to final grade.

Laboratory moisture-density relationship or Proctor tests (AASHTO T-180 and T-99) will be conducted on the soils used as structural.

In-place density testing of the pavement components including stabilized sub-grade and base course, as well sidewalk and/or concrete paving sub-grade prior to placing concrete or pavers.

Limerock Bearing Ratio (LBR) tests will be performed on the stabilized sub-grade and base course material.

In-place density testing during building construction at the footing sub-grade and concrete slab sub-grade prior to placing concrete.

Continuous concrete testing during the building construction per specifications (footings and slabs). This includes continuous field sampling and slump testing of each load of concrete delivered to the site. Also, molding, transporting, and curing of concrete test cylinders, as well as laboratory testing to determine compressive strength of the concrete used for the construction.

Testing of the structural masonry components during construction of the CMU walls. This includes continuous field sampling and slump testing of each load of coarse masonry grout delivered to the site. Also, molding, transporting, and curing of grout prisms, as well as laboratory testing to determine

compressive strength of the coarse masonry grout, as well as the mortar used for the structural masonry wall construction.

Construction materials testing services will be provided on an as-needed basis as dictated by the pace and methods of construction.

Provide Engineering oversight during the construction to coordinate the aforementioned test program, engineering review and submittal of brief engineering reports documenting our findings, test results and specification compliance.

Scope of Work Threshold Inspection Service per F.S.553.79

Responsible for following and executing the approved threshold inspection plan in the field and will issue the necessary documentation to the City of Port St. Lucie Project Manager and Building Department attesting to that. The Threshold Inspector may not be in the field on a daily basis but will review, in the office, all field reports, test results and related correspondence. The Threshold Inspector will be available to make periodic site visits to spot check critical components of the construction and offer consultations as required by the City of Port St. Lucie. A detailed scope of work shall be submitted with proposal.

The Threshold Inspector shall be represented in the field on a will call basis by an onsite resident inspector. This individual will meet all legal requirements for this work and have substantial experience in cast-in-place concrete, unit masonry and structural steel and light steel framed construction.

The inspector will make the required field inspections, coordinate these with other members of the construction team and document the results in daily written reports. A weekly report shall be signed & sealed by the Threshold Inspector and submitted to the City of Port St. Lucie Project Manager each Monday of the following week.

FBC Section 11927.12.1 and BCAC 109./0.2.1

FBC Section 2122.4 and BCAC 109.]0.2.2

FBC Section 2223.11.1 and BCAC 109.10.2.4

A. STANDARD THRESHOLD INSPECTION PROCEDURES

1. FOUNDATION

- 1.1 Excavation/subsurface preparation.
- 1.2 Observation of soil compaction methods.
- 1.3 Placement, size, and grade of reinforcing steel and dowels spread footings, wall footings and all foundation elements.
- 1.4 Soil treatment
- 1.5 Verify that all MEP ground rough has been approved by the appropriate inspecting agency.
- 1.6 Moisture protection
- 1.7 Monitor Placement of Cast Concrete (optional if required by threshold inspection plan)

2. REINFORCED CONCRETE

- 2.1 Reinforcing Steel
 - 2.1.1 Check shipment
 - 2.1.2 Size/grade/bending
 - 2.1.3 Placement
 - 2.1.4 Support and typing
 - 2.1.5 Cover
 - 2.1.6 Length and splices
 - 2.1.7 Clear formwork before pour
 - 2.1.8 Integrity of form work, and shoring
 - 2.1.9 Monitor Placement of Cast Concrete (optional if required by threshold inspection plan)

- 2.2 Embedded Items
- 2.2.1 Anchor bolts
- 2.2.2 Inserts, Plates
- 2.2.3 Sleeves

3. STRUCTURAL STEEL

- 3.1 Observation of condition upon delivery of job site
- 3.2 Examine for compliance with the approved shop drawings and erection plan
- 3.3 Bolting
 - 3.3.1 Size
 - 3.3.2 Number
 - 3.3.3 Torque
- 3.4 Welding
 - 3.4.1 Weld size and length
 - 3.4.2 Weld cleaning and preparation

4. REINFORCED CONCRETE UNIT MASONRY

- 4.1 Observe reinforcement placement
- 4.2 Review test reports
- 4.3 Review embed items
- 4.4 Monitor grouting of Filled cells (optional if required by threshold inspection plan)

5. LIGHT GAUGE METAL ROOF TRUSSES

- 5.1 Observation of condition upon delivery of job site
- 5.2 Examine for compliance with the approved shop drawings and erection plan
- 5.3 Bolting
 - 5.3.1 Size
 - 5.3.2 Number
 - 5.3.3 Torque
- 5.4 Welding
 - 5.4.1 Weld size and length
 - 5.4.2 Weld cleaning and preparation

B. REPORTING

- 1. The Threshold Inspector shall submit written reports to the City of Port St Lucie Project Manager and the Building Department on each Monday of the following week.
 - 1.1 The Threshold Inspector shall keep an exception file.
 - 1.2 A final letter of compliance shall be issued to the City of Port St. Lucie Project Manager and the Building Department within seven (7) calendar days upon completion of all work.

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QUESTIONNAIRE

E-Bid #20110042

Threshold and Construction Materials Testing for the Ravenswood Community Center

It is understood and agreed that the following information is to be used by the City of Port St. Lucie to determine the qualifications of personnel and firm as presented in this document. The Proposer waives any claim against the City that might arise with respect to any decision concerning the qualifications of the Proposer or the personnel of the Proposer.

The undersigned attests to the truth and accuracy of all statements made on this questionnaire. Also, the undersigned hereby authorizes any public official, Consultant, Surety, bank material or equipment manufacturer or distributor, or any person, firm or corporation to furnish the City of Port St. Lucie any Pertinent information requested by the City deemed necessary to vary the information on this questionnaire.

Dated this 14th day of March, 2011

Dunkelberger Engineering & Testing, Inc.

Name of Organization / Proposer

1. Firm's office address, telephone, fax number, e-mail address and contact person for this project

Dunkelberger Engineering & Testing, Inc.
607 NW Commodity Cove
Port St. Lucie, FL 34986
Telephone: 772-343-9787
Facsimile: 772-343-9404
Primary Contact: David T. Youngstrom, Sr. Project Manager (davey@detinc.net)
Secondary Contact: Craig E. Dunkelberger, P.E., Principal-in-Charge (craigd@detinc.net)

2. Number of full time personnel that will be assigned to this project:

Name	Title	EST hours
<i>From our experience with similar City of Port St. Lucie projects, we do not expect that this project will require any full-time staffing (i.e., 40 hours/week). Our work will be performed on an as-needed, will-call basis. We will have two primary personnel assigned to the project, one for building (threshold) inspection and one for construction materials testing. Those personnel are:</i>		
Louis R. Perini III	Building Inspector	120
Tracey S. Pina	Senior (Sr.) Engineering Technician	500 *

**This represents the estimated total engineering technician man-hours for all field and laboratory testing.*

- Number of part time personnel that will be assigned to this project:

Name	Title	EST hours
David T. Youngstrom	Sr. Project Manager	18
Michael J. O'Connor, P.E.	Threshold Engineer	15
Nolvin Perez-Ortiz	Alternate Engineering Technician	(see prior table)
Craig E. Dunkelberger, P.E.	Principal-in-Charge (QA/QC)	4

3. What is the experience of your staff with Threshold Inspection Services assigned to this project?

Name	Years of Exp	Type Testing
Louis R. Perini III	16	<p>Building Inspection</p> <p>Florida (FL) DBPR Building Inspector No. 3688; SBCCI Building Inspector No. 7378; ICC Fire Proofing Special Inspector No. 5167329-86; ICC Building Inspector No. 5167329-B5.</p> <p>Recent experience: Harbor Branch/Florida Atlantic University (FAU) Marine Center & Auditorium; Allegro @ Willoughby; Allapattah Flats K-8 – St. Lucie County School District (SLSCD)</p>
Michael J. O'Connor, P.E.	26	<p>Threshold Engineer</p> <p>FL Registered Professional Engineer No. 44082; Special Inspector (SI) No. 981)</p> <p>Recent experience: Broward County Children's Reading Center & Museum; FAU Boca Campus – General Classroom South Remodel; Research Laboratory II @ Harbor Branch/FAU</p>

What is the experience of your staff for Construction Materials Testing assigned to this project?

Name	Years of Exp	Type Testing
David T. Youngstrom	22	<p>Sr. Project Manager overseeing field & laboratory testing of soils, concrete, aggregates, asphalt & masonry</p> <p>Bachelor of Science in Geology, University of Minnesota (MN), 1983; ACI Concrete Field Grade I; Nuclear Radiation Safety Officer; ICCBO Reinforced Concrete Inspector; MN/DOT Batch Plant Inspector Grade I; OSHA 10-hour Construction Safety Certification</p> <p>Recent experience: Lincoln Park Academy (LPA) Modernization; City of PSL Saints Clubhouse; City of PSL Building E</p>
Tracey S. Pina	12	<p>Sr. Engineering Technician – perform field testing of soils, concrete, aggregates, & masonry</p> <p>CTQP Earthwork Level I Certification; CTQP Level I & II Concrete Field Technician; CTQP QC Manager; CTQP LBR Technician; CTQP Levels I & II Laboratory Concrete Certification; CTQP Aggregate Field Testing Technician;</p>

		<p>ACI Concrete Field Tech Grade I; ACI Concrete Strength Testing; ACI Concrete Transportation Construction Inspector; Structural Masonry Inspector; NUCA Competent Person Training; OSHA 10-hour Construction Safety Certification</p> <p>Recent experience: Allapattah Flats K-8 - SLCSO; Treasure Coast Energy Center; Juanita Avenue Bridge Reconstruction</p>
Nolvin Perez-Ortiz	16	<p>Engineering Technician – perform field testing of soils & concrete</p> <p>CTQP Earthwork Level I Certification; ACI Concrete Field Tech Grade I; CTQP Level I Concrete Field Tech</p> <p>Recent experience: Samuel S. Gaines K-8 - SLCSO; St. Lucie County (SLC) Emergency Operations Center; Palm Pointe Research Park K-8 - SLCSO</p>
Craig E. Dunkelberger, P.E.	19	<p>Principal-in-Charge of the quality & delivery of all services for the project</p> <p>FL Registered Professional Engineer No. 49932 [Bachelor of Science in Civil Engineering & Master of Engineering (Geotechnical)]; Court Qualified Expert; Secretary SLC Contractor's Certification Board; Member SLC Construction Board of Adjustment & Appeal</p> <p>Mr. Dunkelberger is the principal-in-charge of Dunkelberger's Port St. Lucie office/laboratory, a position he has held since 1995. Mr. Dunkelberger has successfully completed literally thousands of projects during this time.</p>

Of note, all laboratory materials testing (e.g., Proctor tests, compressive strength of concrete, masonry, etc.) required for the project will be performed in Dunkelberger's full-service Port St. Lucie laboratory which is accredited by the Construction Materials Engineering Council (CMEC) and is qualified (inspected and approved) by both the Florida Department of Transportation (FDOT) and the U.S. Army Corp of Engineers (USACE). This means that our personnel, equipment and processes are routinely checked and verified both internally and by outside agencies through inspections and proficiency testing to ensure the quality and reproducibility of the test data.

4. All employees that will be working on site for this project must meet the Jennifer Lunsford Act. Have the above named employees already met the Jessica Lunsford Requirements? Yes
5. Number of days notification required to be onsite for this project: Ideally we would like at least 24 hours prior notice; however, we understand that emergency and short notice situations will arise and we are prepared to respond to those situations. In most cases we can have a qualified person on site within as little as 30 minutes up to about 4 hours.
6. Does your firm accept payment by Credit Card? No

ADDENDUM ACKNOWLEDGMENT - Proposer acknowledges that the following addenda have been received and are included in his/her proposal:

Addendum Number	Date Issued
N/A	

CERTIFICATION:

This E-Bid is submitted by: Name (print) Craig E. Dunkelberger, P.E. who is an officer of the above firm duly authorized to sign proposals and enter into contracts. I certify that this E-Bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a proposal for the same materials, supplies, or equipment, and is in all respects fair and without collusion or fraud. I understand collusive bidding is a violation of State and Federal law and can result in fines, prison sentences, and civil damage awards. I agree to comply with all requirements stated in the specifications for this E-bid, the Terms and Conditions including amendments to Master Contract #20070116, and that all employees that will be working on site will comply with the Jessica Lunsford Act.

I agree to abide by all conditions of this E-Bid.:



 Signature

 Vice President/Principal-in-Charge
 Title

If a corporation renders this E-Bid, the corporate seal attested by the secretary shall be affixed below. Any agent signing this E-Bid shall attach to this form evidence of legal authority.

Witnesses:

If Partnership:

 Print Name of Firm

By: _____
 (General Partner)

If Individual:

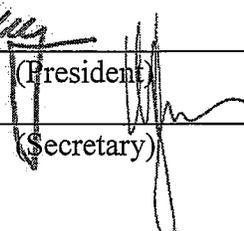
 Signature

 Print Name

If Corporation:

 Print Name of Corporation

By: 
 (President)

Attest: 
 (Secretary)

(CORPORATE SEAL)



QUESTIONNAIRE

E-Bid #20110042

Threshold and Construction Materials Testing for the Ravenswood Community Center

It is understood and agreed that the following information is to be used by the City of Port St. Lucie to determine the qualifications of personnel and firm as presented in this document. The Proposer waives any claim against the City that might arise with respect to any decision concerning the qualifications of the Proposer or the personnel of the Proposer.

The undersigned attests to the truth and accuracy of all statements made on this questionnaire. Also, the undersigned hereby authorizes any public official, Consultant, Surety, bank material or equipment manufacturer or distributor, or any person, firm or corporation to furnish the City of Port St. Lucie any Pertinent information requested by the City deemed necessary to vary the information on this questionnaire.

Dated this 14th day of March, 2011

Nutting Engineers of Florida, Inc.

Name of Organization / Proposer

(This is a word document please add space as needed.)

1. Firm's office address, telephone, fax number, e-mail address and contact person for this project

615 SW Biltmore Street
Port St. Lucie, Florida 34983
p. 772-408-1050 f. 772-408-1049
jimf@nutting.biz & kristinab@nutting.biz
Mr. James Flaig, PE & Mrs. Kristina Berryman

2. Number of full time personnel that will be assigned to this project:

Name	Title	EST hours
Mr. Richard C. Wohlfarth, PE #50858, BN #3580	Principal-in-Charge/ Project Manager	50 ⁽¹⁾
Mr. James J. Flaig, PE#21083, SI #660	Special/Threshold Inspector; Principal	50 ⁽¹⁾
Mr. Russell S. Morris, BN #4661	Resident Inspector/Threshold Inspector Agent	400 ⁽¹⁾
Mr. Jose Molina	Technician, ACI Level I, Troxler	80 ⁽¹⁾
⁽¹⁾ Estimated hours based on concurrent construction of buildings; does not include any unforeseen standby time. Quantities based on specification information on pages 4-6 of Invitation to E-Bid, including continuous concrete testing. Plans and full specs not provided.		

(This is a word document add lines as needed)

- Number of part time personnel that will be assigned to this project:

Name	Title	EST hours
Mr. Jim Harper, BN #4544	Alternate Resident/Threshold Inspector	Unknown ⁽²⁾
Mr. Mike Langavin	Alternate Engineering Technician, ACI Level I, Troxler	Unknown ⁽²⁾
Mr. Jose Costabile	Administrative Inspection Reports	16

Mrs. Mattie Allen	Administrative: Concrete Reports	10
Mr. Reggie Ward	Lab Technician	N/A ⁽³⁾
Mr. Daniel Hartke	QA/QC Director/ Director of Operations	N/A
⁽²⁾ Dependent on future vacation schedules, unforeseen sick time		
⁽³⁾ Hours included in Technician time		

(This is a word document add lines as needed)

3. What is the experience of your staff with Threshold Inspection Services assigned to this project?

Name	Years of Exp	Type Testing
Mr. Richard C. Wohlfarth, PE #50858, BN #3580	22	Each person listed is qualified and experience to perform the procedures presented to the E-Bid invitation including procures for: A1 Foundation (inc. A.1.1, 1.2, 1.3, 1.4, 1.5, 1.6, 1.7), A2 Reinforced Concrete (inc. A.2.1, 2.1.1, 2.1.2, 2.1.3, 2.1.4, 2.1.5, 2.1.6, 2.1.7, 2.1.8, 2.1.9, 2.2, 2.2.1, 2.2.2, 2.2.3), A3 Structural Steel (inc. A3.1, 3.2, 3.3, 3.3.1, 3.3.2, 3.3.3., 3.4, 3.4.1, 3.4.2), A4 Reinforced Concrete Unit Masonry (inc. A4.1, 4.2, 4.3, 4.4), A5 Light Gauge Metal Roof Trusses (inc. A5.1, 5.2, 5.3, 5.3.1, 5.3.2, 5.3.3, 5.4, 5.4.1, 5.4.2), as well as Roof Truss Strapping and Sheathing, Window Components and Cladding, Drywall EFIS, Windsor Probes, Pachometer
Mr. James J. Flaig, PE #21083, SI #660	35	
Mr. Russell S. Morris, BN #4661	20	
Mr. Jim Harper, BN #4544	20	

What is the experience of your staff for Construction Materials Testing assigned to this project?

Name	Years of Exp	Type Testing
Mr. Jose Molina	5	Soil density tests, Limerock Bearing Ratio/ Florida Bearing Value sampling, concrete cylinders, slump and air content, masonry grout prisms, pile grout cubes, asphaltic concrete coring and thickness tests, monitoring of site and building pad preparation; pile installation monitoring.
Mr. Mike Langavin	5	

4. All employees that will be working on site for this project must meet the Jennifer Lunsford Act. Have the above named employees already met the Jessica Lunsford Requirements? yes
5. Number of days notification required to be onsite for this project 5-1.0
6. Does your firm accept payment by Credit Card? yes

ADDENDUM ACKNOWLEDGMENT - Proposer acknowledges that the following addenda have been received and are included in his/her proposal:

Addendum Number	Date Issued
-----------------	-------------

--	--

CERTIFICATION:

This E-Bid is submitted by: Name (print) Richard C. Wohlfarth who is an officer of the above firm duly authorized to sign proposals and enter into contracts. I certify that this E-Bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a proposal for the same materials, supplies, or equipment, and is in all respects fair and without collusion or fraud. I understand collusive bidding is a violation of State and Federal law and can result in fines, prison sentences, and civil damage awards. I agree to comply with all requirements stated in the specifications for this E-bid, the Terms and Conditions including amendments to Master Contract #20070116, and that all employees that will be working on site will comply with the Jessica Lunsford Act.

I agree to abide by all conditions of this E-Bid.:

Richard C. Wohlfarth Vice President/ Principal
Signature Title

If a corporation renders this E-Bid, the corporate seal attested by the secretary shall be affixed below. Any agent signing this E-Bid shall attach to this form evidence of legal authority.

Witnesses:

If Partnership:

Print Name of Firm
By: _____
(General Partner)

If Corporation:

Nutting Engineers of Florida, Inc.
Print Name of Corporation
By: Mr. Richard Iossi, PE
(President)
Attest: Mrs. Elizabeth Butler
(Secretary)

If Individual:

Signature

Print Name

(CORPORATE SEAL)



"A City for All Ages"



CITY OF PORT ST. LUCIE

**Sealed Electronic Proposal #20110042
(E-Bid)**

Threshold and Construction Material Testing for Ravenswood Community Center Project

Prepared By:
Cheryl Shanaberger
Office of Management & Budget
121 SW Port St. Lucie Boulevard
Port St. Lucie, FL 34984-5099
772-871-7390
cheryls@cityofpsl.com

NOTE: THIS REQUEST FOR AN E-BID IS ONLY FOR THE FOLLOWING CONSULTANTS WHO HOLD MASTER CONTRACT #20070116 WITH THE CITY:

- **Nodarse & Associates Inc.**
- **Nutting-Engineers of Florida Inc.**
- **Andersen Andre Consulting Engineers, Inc.**
- **Ardaman & Associates, Inc.**
- **Dunkelberger Engineering**

INVITATION TO E-BID

Sealed Electronic Proposal #20110042 for the Threshold and Construction Material Testing for the Ravenswood Community Center Project will be received by the Office of Management and Budget of the City of Port St. Lucie no later than **3:00:00 p.m. on March 14, 2011.** Specifications are attached.

All submittals must be received by the date and time specified above, when they will be opened and the names publicly read aloud. The proposal time must be and shall be scrupulously observed. Under no circumstances shall submittals uploaded to Demandstar.com after the time specified be accepted or considered. It is the sole responsibility of the Proposer to ensure that his or her submittal is uploaded on or before the closing date and time. The City shall in no way be responsible for delays caused by any power outages or internet failures. No exceptions will be made.

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The City of Port St. Lucie reserves the right to reject any and all bids, to waive any and all informalities or irregularities, and to accept or reject all or any part of any bid as it may deem to be in the best interest of the citizens of the City.

All Terms and Conditions of the Master Contract #20070116 and amendments thereof shall apply to the contract issued from this proposal.

For the purpose of this bid, the term Bidder, E-Bidder, Proposer and Consultant may be used interchangeably.

Documents required for this E-Bid:
Completed Questionnaire

Submittal of E-Bid - All proposals shall be submitted by completing and returning the Questionnaire. The Questionnaire should be typed or printed and signed in black ink. All submittals are required to be electronic. No hard copies will be accepted.

- A. Request Bid Specifications, #20110032 from Onvia, via phone 800-711-1712 or via internet www.cityofpsl.com

- C. Electronically sign the Questionnaire where indicated.
- D. Upload and submit the Questionnaire for E-Bid #20110042 onto Demandstar by the due date and time. Acknowledge all Addenda on the Questionnaire.
- E. Enter Zero on the web page for cost or you will receive an error message and your submittal will be denied.

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TENTATIVE SCHEDULE

It is the intent of the City to have this project completed within a limited time frame. Therefore, priority will be given to firms who recognize and display the ability to work within the restrictions of the following tentative schedule:

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Advertisement with Onvia DemandStar	March 4, 2011
Proposal Due	March 14, 2011 3:0:0 P.M. EST
Evaluation Committee*	March 16, 2011 10 A.M
Q & A*	March 18, 2011 9 A.M.
Tentative City Council Contract Approval	March 28, 2011

*Committee will meet in the Conference Room (390) in the Office of Management & Budget at 3 pm.

* Committee will meet in the Conference Room (390) in the Office of Management & Budget at 9 am.

EVALUATION AND AWARD

Responses will be scored in the following manner:

	<u>CRITERION</u>
<u>MAXIMUM SCORE</u>	
a) Assigned Staff Experience in Threshold Inspection of this type	40 points
b) Assigned Staff Experience in Construction Material Testing of this type...	40 points
c) Notification Required to be on Project.....	10 points
d) Staff on project already meet Jessica Lunsford Requirements	5 points
e) Accepts Payment by P-Card	<u>5 points</u>
Total Maximum Points	100

The City's Office of Management & Budget (OMB) reserves the right to request any additional information needed for clarification from any proposer for evaluation purposes.

The Scope of Work for the Threshold Inspection Service per F.S.553.79 and Construction Materials Testing for the Ravenswood Community Center.

The Ravenswood Community Center is located on Ravenswood Lane about one block south of Prima Vista Boulevard. The project includes a proposed Community Center/Gymnasium that will be a one-story slab-on-grade structure with a building footprint of approximately 24,771 square feet (S.F.) and a proposed IRSC building that will be a one-story slab-on-grade structure with a building footprint of approximately 10,980 square feet (S.F.). The Community Center/Gymnasium buildings will have concrete masonry unit (CMU) walls and structural steel framing supporting a concrete roof system. The IRSC building will have concrete masonry unit (CMU) walls and structural steel framing supporting a light steel framed roof and plywood sheathing system.

The project will also involve site work that includes site clearing and site grading to prepare the proposed building and pavement areas, installation of underground utilities and drainage system, and concrete pavement construction.

The construction materials testing services shall include field and laboratory testing of soils, concrete, and masonry components. The threshold inspection services shall be provided in accordance with the approved Threshold Inspection Plan and Florida State Statutes.

Construction Materials Testing

An engineering technician shall perform earthwork observations during the site grading operation. This will include observations and proof-rolling of the "stripped" grade soils prior to fill placement within the proposed building and pavement areas.

In-place density testing of the structural fill placed within the proposed building and pavement areas.

In-place density testing during backfilling of the underground rigid and flexible utility pipelines. The density tests will be performed at a frequency of one test location for each 200 lineal feet (or fraction thereof) of pipe. At each location, density tests will be performed for each 1-foot lift of backfill placed starting at an elevation corresponding to the invert of the pipe and extending up to the final grade.

In-place density testing during backfilling of the underground drainage and sanitary sewer structures for each 1-foot lift of backfill placed from the bottom of the structure up to an elevation corresponding to final grade.

Laboratory moisture-density relationship or Proctor tests (AASHTO T-180 and T-99) will be conducted on the soils used as structural.

In-place density testing of the pavement components including stabilized sub-grade and base course, as well sidewalk and/or concrete paving sub-grade prior to placing concrete or pavers.

Limerock Bearing Ratio (LBR) tests will be performed on the stabilized sub-grade and base course material.

In-place density testing during building construction at the footing sub-grade and concrete slab sub-grade prior to placing concrete.

Continuous concrete testing during the building construction per specifications (footings and slabs). This includes continuous field sampling and slump testing of each load of concrete delivered to the site. Also, molding, transporting, and curing of concrete test cylinders, as well as laboratory testing to determine compressive strength of the concrete used for the construction.

Testing of the structural masonry components during construction of the CMU walls. This includes

compressive strength of the coarse masonry grout, as well as the mortar used for the structural masonry wall construction.

Construction materials testing services will be provided on an as-needed basis as dictated by the pace and methods of construction.

Provide Engineering oversight during the construction to coordinate the aforementioned test program, engineering review and submittal of brief engineering reports documenting our findings, test results and specification compliance.

Scope of Work Threshold Inspection Service per F.S.553.79

Responsible for following and executing the approved threshold inspection plan in the field and will issue the necessary documentation to the City of Port St. Lucie Project Manager and Building Department attesting to that. The Threshold Inspector may not be in the field on a daily basis but will review, in the office, all field reports, test results and related correspondence. The Threshold Inspector will be available to make periodic site visits to spot check critical components of the construction and offer consultations as required by the City of Port St. Lucie. A detailed scope of work shall be submitted with proposal.

The Threshold Inspector shall be represented in the field on a will call basis by an onsite resident inspector. This individual will meet all legal requirements for this work and have substantial experience in cast-in-place concrete, unit masonry and structural steel and light steel framed construction.

The inspector will make the required field inspections, coordinate these with other members of the construction team and document the results in daily written reports. A weekly report shall be signed & sealed by the Threshold Inspector and submitted to the City of Port St. Lucie Project Manager each Monday of the following week.

FBC Section 11927.12.1 and BCAC 109./0.2.1

FBC Section 2122.4 and BCAC 109.]0.2.2

FBC Section 2223.11.1 and BCAC 109.10.2.4

A. STANDARD THRESHOLD INSPECTION PROCEDURES

1. FOUNDATION

- 1.1 Excavation/subsurface preparation.
- 1.2 Observation of soil compaction methods.
- 1.3 Placement, size, and grade of reinforcing steel and dowels spread footings, wall footings and all foundation elements.
- 1.4 Soil treatment
- 1.5 Verify that all MEP ground rough has been approved by the appropriate inspecting agency.
- 1.6 Moisture protection
- 1.7 Monitor Placement of Cast Concrete (optional if required by threshold inspection plan)

2. REINFORCED CONCRETE

- 2.1 Reinforcing Steel
 - 2.1.1 Check shipment
 - 2.1.2 Size/grade/bending
 - 2.1.3 Placement
 - 2.1.4 Support and typing
 - 2.1.5 Cover
 - 2.1.6 Length and splices
 - 2.1.7 Clear formwork before pour

2.2 Embedded Items

2.2.1 Anchor bolts

2.2.2 Inserts, Plates

2.2.3 Sleeves

3. STRUCTURAL STEEL

3.1 Observation of condition upon delivery of job site

3.2 Examine for compliance with the approved shop drawings and erection plan

3.3 Bolting

3.3.1 Size

3.3.2 Number

3.3.3 Torque

3.4 Welding

3.4.1 Weld size and length

3.4.2 Weld cleaning and preparation

4. REINFORCED CONCRETE UNIT MASONRY

4.1 Observe reinforcement placement

4.2 Review test reports

4.3 Review embed items

4.4 Monitor grouting of Filled cells (optional if required by threshold inspection plan)

5. LIGHT GAUGE METAL ROOF TRUSSES

5.1 Observation of condition upon delivery of job site

5.2 Examine for compliance with the approved shop drawings and erection plan

5.3 Bolting

5.3.1 Size

5.3.2 Number

5.3.3 Torque

5.4 Welding

5.4.1 Weld size and length

5.4.2 Weld cleaning and preparation

B. REPORTING

1. The Threshold Inspector shall submit written reports to the City of Port St Lucie Project Manager and the Building Department on each Monday of the following week.

1.1 The Threshold Inspector shall keep an exception file.

1.2 A final letter of compliance shall be issued to the City of Port St. Lucie Project Manager and the Building Department within seven (7) calendar days upon completion of all work.

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User: Shanaberger, CPPO, Cheryl

Organization: City of Port St. Lucie - Office of Management and Budget

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Bid Details

Bid Information

EDIT

Agency City of Port St. Lucie - Office of Management and Budget

Bid Type Sealed Electronic Bid

Bid Number EBID-20110042-0-2011/CS

Fiscal Year 2011

Bid Writer Cheryl Shanaberger, CPPO

Bid Name Threshold and Construction Inspection Services for Ravenswood Project

Bid Status Under Evaluation

Bid Status Text This is for the prequalified firms under Master Contract #20070116 only.

Award To

Due Date/Time 3/14/2011 3:00 PM Eastern

Broadcast Date 3/4/2011

Bid Bond

Project Estimated Budget

Plan (blueprint) Distribution Options None

Distribution Method Download and Mail

Distributed By Onvia DemandStar

Distribution Notes None

Scope of Work

The Ravenswood Community Center is located on Ravenswood Lane about one block south of Prima Vista Boulevard. The project includes a proposed Community Center/Gymnasium that will be a one-story slab-on-grade structure with a building footprint of approximately 24,771 square feet (S.F.) and a proposed IRSC building that will be a one-story slab-on-grade structure with a building footprint of approximately 10,980 square feet (S.F.). The Community Center/Gymnasium buildings will have concrete masonry unit (CMU) walls and structural steel framing supporting a concrete roof system. The IRSC building will have concrete masonry unit (CMU) walls and structural steel framing supporting a light steel framed roof and plywood sheathing system.

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The construction materials testing services shall include field and laboratory testing of soils, concrete, and masonry components. The threshold inspection services shall be provided in accordance with the approved Threshold Inspection Plan and Florida State Statutes.

E-Bidding Yes

E-Bidding

EDIT

View Supplier Info on Tabulation Sheet prior to bid opening Yes

Required Documents 1. Questionnaire

Legal Ad

VIEW

Please select either the View or Edit button to manage legal ad.

Pre-Bid Conference

Publications

No Publications Data Found

Documents

EDIT

- Bid Package** Threshold and Construction Inspection Services for Ravenswood Project (Complete)
- Award** Evaluation Committee Scores (4 Pages, Complete)
Notice of Interviews (1 Page, Complete)

Commodity Codes

.ARC-907-42 - Geotechnical - Soils

Statistics

- Planholders** There are 8 planholders for this bid
- Broadcast List** 17 suppliers have been notified
- Supplemental Suppliers** 0 Supplemental Suppliers
- Filtered** Yes
- Post-Bid Viewers** 5 viewer(s)

[<< Return](#)

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BID ADDENDUM # 2
BID # 20110042
Addendum Date: March 18, 2011

Threshold & Construction Material Testing for Ravenswood

This is notification that the evaluation committee met on March 18, 2011 at 9 A.M. in the Office of Management and Budget, Room 390, 121 SW Port St. Lucie Blvd., Building A, Port St. Lucie, Florida and conducted a question and answer discussion with the below short listed firms.

Ardaman & Associates Inc.
Nodarse & Associates Inc.
Nutting Engineers of Florida Inc.

The evaluation committee ranked the firms as below and will start negotiations with the topped ranked firm.

- #1 Ardaman & Associates Inc.
- #2 Nutting Engineers of Florida Inc.
- #3 Nodarse & Associates Inc.

Please contact me if you have any questions, at cheryls@cityofpsl.com or 772 871 7390.

Thank you

BID ADDENDUM # 1
BID # 20110042
Addendum Date: March 16, 2011

Threshold & Construction material Testing for Ravenswood

This is notification that the evaluation committee met on March 16, 2011 at 10 A.M. in the Office of Management and Budget, Room 390, 121 SW Port St. Lucie Blvd., Building A, Port St. Lucie, Florida and the committee short listed the following firms for Q & A on March 18, 2011 at 9 A.M. in the same office as above:

Ardaman & Associates Inc.
Nodarse & Associates Inc.
Nutting Engineers of Florida Inc.

The firm will be allowed 3 minutes for presentations and then the questions and answer session will follow. It is suggested that the staff that will be doing the actual inspections be present. A laptop and projector will be provided if you want to do a presentation. Please provide an electronic copy of all handouts and presentations.

Please contact me if you have any questions please contact Cheryl Shanaberger at cheryls@cityofpsl.com or 772 871 7390.

Thank you

ATTENDANCE

RFP #20110042

Threshold & Construction material testing Ravenswood

	Name (Please PRINT Legibly)	Company Name Or Entity
1	Cheryl Shanaberger	City of PSL-OMB
2	<i>Robyn Holde</i>	<i>City of PSL</i>
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Thank you

- A. Submit properly identified manufacturer's literature and technical data including specifications and installation instructions before starting work.
- B. Samples:
 - 1. **Metal framing.**
 - 2. **Required accessories.**
 - 3.
- C. Shop Drawings: Show layouts and sections coordinated with contract documents showing framing, anchorage accessories, and connection details.
 - 1. **For systems not completely detailed in Contract Documents, provide the following in addition to shop drawings:**
 - Structural design calculations for framing members, connections and accessories. (to be provided upon request)
 - Calculate structural properties of framing and accessories in accordance with AISI "Specification" for the Design of Cold Formed Steel Structural Members.
 - Trusses: ASTM A 653/653M steel G60 galvanized. Provide manufacturer's standard chord and web member profiles with mechanical properties as required by structural design calculations. Shop fabrication required.
 - Design trusses in accordance with AISI "Design Guide for Cold-Formed Steel Trusses, Publication RG-9518."
 - Determine mechanical properties by testing in accordance with ASTM A 370.
 - Configure web members as shown on Shop Drawings.
 - 2. **Calculations and Engineered Shop Drawings shall be signed and sealed by a Florida Registered Professional Engineer.**

PRODUCTS

1.75 MANUFACTURERS

- A. Light Gage Metal Framing:
 - 1. **Dale/Incor Industries, Inc.**
 - 2. **Dietrich Industries, Inc.**
 - 3. **Dole Industries, Inc.**
 - 4. **Marino Industries, Inc.**
 - 5. **Unimast Incorporated (USG).**



"A City for All Ages"



CITY OF PORT ST. LUCIE

**Sealed Electronic Proposal #20110042
(E-Bid)**

**Threshold and Construction Material Testing for Ravenswood
Community Center Project**

Prepared By:
Cheryl Shanaberger
Office of Management & Budget
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In-place density testing during backfilling of the underground rigid and flexible utility pipelines. The density tests will be performed at a frequency of one test location for each 200 lineal feet (or fraction thereof) of pipe. At each location, density tests will be performed for each 1-foot lift of backfill placed starting at an elevation corresponding to the invert of the pipe and extending up to the final grade.

In-place density testing during backfilling of the underground drainage and sanitary sewer structures for each 1-foot lift of backfill placed from the bottom of the structure up to an elevation corresponding to final grade.

Laboratory moisture-density relationship or Proctor tests (AASHTO T-180 and T-99) will be conducted on the soils used as structural.

In-place density testing of the pavement components including stabilized sub-grade and base course, as well sidewalk and/or concrete paving sub-grade prior to placing concrete or pavers.

Limerock Bearing Ratio (LBR) tests will be performed on the stabilized sub-grade and base course material.

In-place density testing during building construction at the footing sub-grade and concrete slab sub-grade prior to placing concrete.

Continuous concrete testing during the building construction per specifications (footings and slabs). This includes continuous field sampling and slump testing of each load of concrete delivered to the site. Also, molding, transporting, and curing of concrete test cylinders, as well as laboratory testing to determine compressive strength of the concrete used for the construction.

Testing of the structural masonry components during construction of the CMU walls. This includes

compressive strength of the coarse masonry grout, as well as the mortar used for the structural masonry wall construction.

Construction materials testing services will be provided on an as-needed basis as dictated by the pace and methods of construction.

Provide Engineering oversight during the construction to coordinate the aforementioned test program, engineering review and submittal of brief engineering reports documenting our findings, test results and specification compliance.

Scope of Work Threshold Inspection Service per F.S.553.79

Responsible for following and executing the approved threshold inspection plan in the field and will issue the necessary documentation to the City of Port St. Lucie Project Manager and Building Department attesting to that. The Threshold Inspector may not be in the field on a daily basis but will review, in the office, all field reports, test results and related correspondence. The Threshold Inspector will be available to make periodic site visits to spot check critical components of the construction and offer consultations as required by the City of Port St. Lucie. A detailed scope of work shall be submitted with proposal.

The Threshold Inspector shall be represented in the field on a will call basis by an onsite resident inspector. This individual will meet all legal requirements for this work and have substantial experience in cast-in-place concrete, unit masonry and structural steel and light steel framed construction.

The inspector will make the required field inspections, coordinate these with other members of the construction team and document the results in daily written reports. A weekly report shall be signed & sealed by the Threshold Inspector and submitted to the City of Port St. Lucie Project Manager each Monday of the following week.

FBC Section 11927.12.1 and BCAC 109./0.2.1

FBC Section 2122.4 and BCAC 109.]0.2.2

FBC Section 2223.11.1 and BCAC 109.10.2.4

A. STANDARD THRESHOLD INSPECTION PROCEDURES

1. FOUNDATION

- 1.1 Excavation/subsurface preparation.
- 1.2 Observation of soil compaction methods.
- 1.3 Placement, size, and grade of reinforcing steel and dowels spread footings, wall footings and all foundation elements.
- 1.4 Soil treatment
- 1.5 Verify that all MEP ground rough has been approved by the appropriate inspecting agency.
- 1.6 Moisture protection
- 1.7 Monitor Placement of Cast Concrete (optional if required by threshold inspection plan)

2. REINFORCED CONCRETE

- 2.1 Reinforcing Steel
 - 2.1.1 Check shipment
 - 2.1.2 Size/grade/bending
 - 2.1.3 Placement
 - 2.1.4 Support and typing
 - 2.1.5 Cover
 - 2.1.6 Length and splices
 - 2.1.7 Clear formwork before pour

2.2 Embedded Items

2.2.1 Anchor bolts

2.2.2 Inserts, Plates

2.2.3 Sleeves

3. STRUCTURAL STEEL

3.1 Observation of condition upon delivery of job site

3.2 Examine for compliance with the approved shop drawings and erection plan

3.3 Bolting

3.3.1 Size

3.3.2 Number

3.3.3 Torque

3.4 Welding

3.4.1 Weld size and length

3.4.2 Weld cleaning and preparation

4. REINFORCED CONCRETE UNIT MASONRY

4.1 Observe reinforcement placement

4.2 Review test reports

4.3 Review embed items

4.4 Monitor grouting of Filled cells (optional if required by threshold inspection plan)

5. LIGHT GAUGE METAL ROOF TRUSSES

5.1 Observation of condition upon delivery of job site

5.2 Examine for compliance with the approved shop drawings and erection plan

5.3 Bolting

5.3.1 Size

5.3.2 Number

5.3.3 Torque

5.4 Welding

5.4.1 Weld size and length

5.4.2 Weld cleaning and preparation

B. REPORTING

1. The Threshold Inspector shall submit written reports to the City of Port St Lucie Project Manager and the Building Department on each Monday of the following week.

1.1 The Threshold Inspector shall keep an exception file.

1.2 A final letter of compliance shall be issued to the City of Port St. Lucie Project Manager and the Building Department within seven (7) calendar days upon completion of all work.

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QUESTIONNAIRE

E-Bid #20110042

Threshold and Construction Materials Testing for the Ravenswood Community Center

It is understood and agreed that the following information is to be used by the City of Port St. Lucie to determine the qualifications of personnel and firm as presented in this document. The Proposer waives any claim against the City that might arise with respect to any decision concerning the qualifications of the Proposer or the personnel of the Proposer.

The undersigned attests to the truth and accuracy of all statements made on this questionnaire. Also, the undersigned hereby authorizes any public official, Consultant, Surety, bank material or equipment manufacturer or distributor, or any person, firm or corporation to furnish the City of Port St. Lucie any Pertinent information requested by the City deemed necessary to vary the information on this questionnaire.

Dated this _____ day of _____, 2011

Name of Organization / Proposer

(This is a word document please add space as needed.)

1. Firm's office address, telephone, fax number, e-mail address and contact person for this project

2. Number of full time personnel that will be assigned to this project:

Name	Title	EST hours

(This is a word document add lines as needed)

- Number of part time personnel that will be assigned to this project:

Name	Title	EST hours

(This is a word document add lines as needed)

Name	Years of Exp	Type Testing

What is the experience of your staff for Construction Materials Testing assigned to this project?

Name	Years of Exp	Type Testing

4. All employees that will be working on site for this project must meet the Jennifer Lunsford Act. Have the above named employees already met the Jessica Lunsford Requirements? _____
5. Number of days notification required to be onsite for this project _____
6. Does your firm accept payment by Credit Card? _____

ADDENDUM ACKNOWLEDGMENT - Proposer acknowledges that the following addenda have been received and are included in his/her proposal:

Addendum Number	Date Issued

CERTIFICATION:

This E-Bid is submitted by: Name (print) _____ who is an officer of the above firm duly authorized to sign proposals and enter into contracts. I certify that this E-Bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a proposal for the same materials, supplies, or equipment, and is in all respects fair and without collusion or fraud. I understand collusive bidding is a violation of State and Federal law and can result in fines, prison sentences, and civil damage awards. I agree to comply with all requirements stated in the specifications for this E-bid, the Terms and Conditions including amendments to Master Contract #20070116, and that all employees that will be working on site will comply with the Jessica Lunsford Act.

I agree to abide by all conditions of this E-Bid.:

Signature Title

Witnesses:

If Individual:

Signature

Print Name

If Partnership:

Print Name of Firm

By: _____
(General Partner)

If Corporation:

Print Name of Corporation

By: _____
(President)

Attest: _____
(Secretary)

(CORPORATE SEAL)